

- LEGEND
- 5/8" Rebar Unless Otherwise Noted
 - All Points in Pavement (Set Mag-Nails)
 - Existing
 - Proposed
 - Utility Pole
 - Overhead line

OWNER'S CERTIFICATE

WE, VERNON E. ANDERSON, FAY R. ANDERSON, KEVIN V. ANDERSON, JOHN W. HARBOLD AND EMILY K. HARBOLD BEING DULY SWORN, ACCORDING TO LAW, DEPOSE WE ARE THE TRUE OWNERS OF THE RECORD OF THE LANDS SHOWN HEREON BEING CONSIDERED FOR SUBDIVISION APPROVAL AND HEREBY OFFER FOR DEDICATION, THE PROPOSED RIGHTS OF WAY AND EASEMENTS WITH THE APPLICATION AND PLAT. THIS IS OUR ACT AND OUR WISH TO RECORD AFTER APPROVAL.

VERNON E. ANDERSON

JOHN W. HARBOLD

FAY R. ANDERSON

EMILY K. HARBOLD

KEVIN V. ANDERSON

AFFIDAVIT:
COMMONWEALTH OF PENNSYLVANIA: }
COUNTY OF: }
SWORN AND SUBSCRIBED TO ME THIS DAY, 2023.

NOTARY PUBLIC

MEDIUM-DENSITY RESIDENTIAL (R-2) DISTRICT

FROM FRONT YARD PROPERTY LINES.....25'
FROM SIDE YARD PROPERTY LINES.....10'
FROM REAR YARD PROPERTY LINES.....15'
MINIMUM LOT SIZE.....10,000 Sq. Ft.
MINIMUM LOT FRONTAGE.....75'

"FORM B" NON-BUILDING WAIVER FOR ALL LOTS AND RESIDUES

"AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE SUBDIVISION DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF NON-BUILDING PURPOSES. NO PORTION OF THIS SUBDIVISION HAS BEEN APPROVED BY UPPER ALLEN TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.P. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 7501 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF UPPER ALLEN TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS."

Medium Density Residential (R-2) District					
	Front Yard	Side Yard	Rear Yard	Min. Lot Size	Min. Street Frontage
Required	25	10	15	10,000 Sq. Ft.	75 Ft.
42-30-2108-352	25	10	15	8,819 Sq. Ft.	82.36 Ft.
42-30-2108-069	25	10	15	10,000 Sq. Ft.	90.14 Ft.
Lot 1	25	10	15	27,125 Sq. Ft.	75 Ft.

Impervious Calculations		
	Max	Actual
42-30-2108-352	3,968 Sq. Ft.	2,514 Sq. Ft.
42-30-2108-069	12,206 Sq. Ft.	3,946 Sq. Ft.
Lot 1	4,500 Sq. Ft.	1,768 Sq. Ft.

Building Heights		
	Max	Actual
42-30-2108-352	35 Ft.	29 Ft.
42-30-2108-069	35 Ft.	24 Ft.
Lot 1	35 Ft.	22 Ft.

Building Coverage		
	Max	Actual
42-30-2108-352	2,646 Sq. Ft.	991 Sq. Ft.
42-30-2108-069	8,138 Sq. Ft.	991 Sq. Ft.
Lot 1	3,000 Sq. Ft.	750 Sq. Ft.

Remainder Of Lot 4
42-30-2108-352
Vernon E. Anderson, Fay R. Anderson
& Kevin V. Anderson
Deed Book 32Y, Page 605
24,772 Sq. Ft. Or 0.57 Acres
-10,621 Sq. Ft. Or 0.24 Acres (Lot 1)
New Parcel Total=
14,151 Sq. Ft. Or 0.33 acres
-5,332 Sq. ft. Or 0.12 Acres (PennDOT ROW)
Total Remaining Acreage=
8,819 Sq. Ft. Or 0.21 Acres

SITE

LOCATION MAP

SCALE: 1" = 3,000' ±

WETLAND CERTIFICATION
THIS SITE HAS BEEN INVESTIGATE FOR WETLAND AREAS AND TO THE BEST OF MY KNOWLEDGE, ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

RORY L. CHAPMAN, P.L.S. DATE

REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS DAY OF , 2024.

DIRECTOR OF PLANNING

RECOMMENDED FOR APPROVAL BY THE UPPER ALLEN TOWNSHIP
PLANNING COMMISSION THIS DAY OF , 2024.

CHAIRMAN

SECRETARY

APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS
AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL
WERE COMPLETED ON THIS DAY OF , 2024.

PRESIDENT

SECRETARY

REVIEWED THIS DAY OF , 2024.

DIRECTOR OF PUBLIC WORKS

VERBAL APPROVAL WAS GIVEN BY UPPER ALLEN
TOWNSHIP ZONING HEARING BOARD FOR ZONING
HEARING BOARD CASE #23-09 ON DECEMBER 14, 2023

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	35.00'	74.44'	61.18'	S 31°41'52" E	121°52'04"

A to Z
L and
C Consulting
S ervices, LLC

403 LWE SUITE 100
McConnellsburg, PA 17233

PH 717-809-3025
www.atozlandconsultingservices.com

DATE	NO.	REVISION

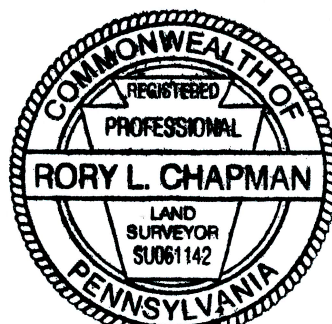
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF; THAT IT IS A SUBDIVISION OF PART OF THE LANDS CONVEYED BY ASHCOMBE PRODUCTS COMPANY, FORMERLY ASHCOMBE FARM DAIRY, INC., TO VERNON E. ANDERSON AND FAYE R. ANDERSON, HIS WIFE, AND KEVIN V. ANDERSON, BY DEED DATED SEPTEMBER 22, 1987, AND RECORDED IN DEED BOOK Y32 AND PAGE 605 ALSO THE LANDS CONVEYED BY JENNIFER L. MYERS, MARRIED PERSON, TO JOHN W. HARBOLD AND EMILY K. HARBOLD, HUSBAND AND WIFE, BY DEED DATED JUNE 28, 2023, AND RECORDED IN INSTRUMENT# 202311893, AMONG THE RECORDS IN THE REGISTER AND RECORDER'S OFFICE OF CUMBERLAND COUNTY, PENNSYLVANIA.

11/17/2023

DATE

RORY L. CHAPMAN, P.L.S.
PENNSYLVANIA REG. NO. SU061142



SUBDIVISION PLAT LANDS OF

Vernon E. Anderson, Faye R. Anderson,
Kevin V. Anderson
&
John W. Harbold & Emily K. Harbold

SITUATED AT 900, 906 AND 908 GETTYSBURG PIKE, MECHANICSBURG PA 17025
IN UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

Tax Map	42
Parcel No.	352
Drawn By:	TMK
Checked By:	RLC
Date:	10-3-2023
Scale:	1"=20'
Job No.	21-087
SHEET	1 OF 1