MODWASH - UPPER ALLEN TOWNSHIP, PA AMENDED LAND DEVELOPMENT PLAN

GENERAL NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A CAR WASH LOCATED AT 127 KIM ACRES DRIVE, MECHANICSBURG, PA 17055 (TAX PARCEL NUMBER 42-29-2454-181).
- 2. BEFORE STARTING WORK, THE CONTRACTORS SHALL EXAMINE THE JOB SITE AND THE DRAWINGS AND BE THOROUGHLY FAMILIAR WITH THE ENTIRE CONSTRUCTION, THE FACILITIES, ANY DIFFICULTIES IN THE WORK TO BE COMPLETED, THE ACCURACY OF THE DRAWINGS AND DETAILS, AND QUANTITY OF LABOR AND MATERIALS REQUIRED.
- 3. CONTRACTORS SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION OR BIDDING PURPOSES. IN THE EVENT OF OMISSIONS OF NECESSARY DIMENSIONS OR INFORMATION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER. FIGURED AND CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE
- 4. ALL PLAN DETAILS AND WALL SECTIONS ARE CONSIDERED "TYPICAL" INDUSTRY DETAILS UNLESS NOTED OTHERWISE AS SITE SPECIFIC.
- 5. TRAFFIC SHALL BE MAINTAINED ON ALL ADJOINING STREETS AND DRIVES AT ALL TIMES. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH PENNDOT'S REQUIREMENTS.
- 6. CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATION OF ALL EXISTING UTILITIES WITH PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION AND GRADING OF THE SITE. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DESIGN CONFLICTS.
- 7. ALL MATERIALS AND WORKMANSHIP INVOLVED IN THIS SITE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION, INCLUDING SUPPLEMENTS. OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS PUB. FORM 408. UNLESS OTHERWISE NOTED.
- 8. A PENNDOT HIGHWAY OCCUPANCY PERMIT, PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242 NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" IS REQUIRED FOR DRIVEWAY ACCESS TO ANY STATE ROADWAY.
- 9. A FINAL EROSION AND SEDIMENTATION CONTROL PLAN AND PERMIT PURSUANT TO THE RULES AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (TITLE 25, PART 1, SUBPART C, ARTICLE II, CHAPTER 102 OF THE PENNSYLVANIA CODE) IS REQUIRED BEFORE ANY EARTH MOVING ACTIVITIES ON THE PROPOSED LOTS IS ALLOWED
- 10. ALL PROPOSED ACCESSIBLE FACILITIES ARE TO BE CONSTRUCTED TO CURRENT ADA REQUIREMENTS AND STANDARDS.
- 11. ALL PROPOSED ON-SITE LIGHTING SHALL BE DIRECTED INWARD AND DOWNWARD AWAY FROM RESIDENTIAL PROPERTIES AND ALL STREET RIGHT-OF-WAYS.
- 12. LAND DEVELOPMENT PLAN APPROVAL DOES NOT RELIEVE THE OWNER FROM ALL APPLICABLE SIGN REGULATIONS. ALL PROPOSED ON-SITE SIGNAGE SHALL CONFORM TO THE MUNICIPAL ZONING ORDINANCES. ALL SIGNAGE MUST COMPLY WITH CHAPTER 245, ARTICLE XVIII OF THE
- 13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES, INCLUDING EARTHWORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND ENGINEER DURING THE BIDDING PROCESS OF ANY QUANTITY DISCREPANCIES IN THE BID DOCUMENTS. ONCE THE CONSTRUCTION CONTRACT IS ISSUED, THE CONTRACTOR ACKNOWLEDGES THE CONTRACT PRICE COVERS ALL LABOR, MATERIALS AND INCIDENTALS TO SUBSTANTIALLY COMPLETE THE PROJECT ACCORDING TO THE CONSTRUCTION PLANS.
- 14. IT IS THE INTENTION OF THE ENGINEER THAT THE DRAWINGS AND SPECIFICATIONS PROVIDE FOR A COMPLETELY FINISHED PROJECT ANYTHING OR MATTER SHOWN ON THE DRAWINGS OR DESCRIBED BY THE SPECIFICATIONS OR FAIRLY IMPLIED BY EITHER OR BOTH, SHALL BE CONSIDERED A PART OF THE WORK THE SAME AS IF NOTED, SHOWN AND DESCRIBED. SHOULD THE CONTRACTORS FIND ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS, OR BE IN DOUBT AS TO THEIR MEANING, THEY SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. ANY CLARIFICATIONS FROM THE ENGINEER WILL BE WRITTEN AND THE CONTRACTORS SHALL BE RESPONSIBLE AT NO COST TO THE OWNER OR ENGINEER FOR ANY WORK WHICH MUST BE REDONE BECAUSE OF THEIR FAILURE TO COMPLY WITH THE PRECEDING.
- 15. FURTHER EXPLANATORY DRAWINGS OR DETAILS WILL ALSO BE CONSIDERED PART OF THE PROJECT AND WORK EXECUTED WITHOUT SUCH
- 16. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND MEASUREMENTS. ANY DISCREPANCIES BETWEEN THE DRAWING AND ACTUAL EXISTING CONDITIONS SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING. ANY CHANGES OR
- 17. IN THE CASE OF AN INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY AN ADDENDUM, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ENGINEER AND THE OWNER'S REPRESENTATIVES INTERPRETATION.
- 18. THE CONTRACTOR SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- 19. ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE AND SANITARY SEWER FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
- 20. AS-BUILT MYLAR PLANS AND ELECTRONIC DATA FILES SHALL BE PROVIDED TO THE TOWNSHIP. ALL DRAWINGS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR ATTESTING TO THE CORRECTNESS OF THE FACILITY INFORMATION SHOWN, IN ACCORDANCE WITH SECTION 220-4.2.C(3) OF THE CODIFIED ORDINANCES OF THE TOWNSHIP.
- 21. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OR PLANTING STRIP THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR PLANTING STRIP OR CONFLICT WITH AN EASEMENT AGREEMENT. NO STRUCTURES SHALL BE PLACED IN ANY EASEMENT OR PLANTING STRIP UNLESS OTHERWISE NOTED IN AN AGREEMENT.
- 22. THE STORMWATER MANAGEMENT FACILITIES AND BMPS ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE TOWNSHIP. THE FACILITIES ARE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER.

UTILITY COMPANIES

100 GETTYSBURG PIKE

SANITARY

MECHANICSBURG, PA. 17055 KODI HOCKENBERRY khockenberry@uatwp.org

UPPER ALLEN TOWNSHIP

nathaniel.sheffer@suez.com

NAT SHEFFER

SUEZ WATER

PENNSYLVANIA INC.

6310 ALLENTOWN BLVD

HARRISBURG, PA. 17112

ELECTRICITY SUEZ WATER PENNSYLVANIA INC. 6310 ALLENTOWN BLVD HARRISBURG, PA. 17112 NAT SHEFFER

<u>CABLE</u> COMCAST

UGI UTL LANCASTER

STEPHEN BATEMAN

sbateman@ugi.com

MIDDLETOWN, PA. 17057

TELEPHONE/FIBER OPTICS

VERIZON PENNSYLVANIA LLC

PITTSBURGH, PA. 15221

deborah.d.delia@verizon.com

1301 AIP DRIVE

1026 HAY ST

DEBORAH BARUM

4601 SMITH STREET HARRISBURG, PA. 17109 MICHAEL SWEIGARD mike_sweigard@cable.comcast.com nathaniel.sheffer@suez.com



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THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED IN THE SITE NO MORE TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION (PA ACT 287 OF 1974 AMENDED BY ACT 50 OF 2018). PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

WE, HUTTON MECHANICSBURG PA ST, LLC, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF. PLATTED AND SUBDIVIDED. AND HEREBY LAY OFF. PLAN AND SUBDIVIDE. SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAN. BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAN, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREET THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE. THERE ARE STRIPS OF GROUND WITH VARYING WIDTH AS SHOWN ON THIS PLAN AND MARKED: "EASEMENT, RESERVED FOR THE USE OF PUBLIC UTILITIES FOR THE INSTALLATION OF WATER AND SEWER MAINS, POLES, DUCTS, LINES AND WIRES, SUBJECT AT ALL TIMES TO THE PROPER AUTHORITIES AND TO THE EASEMENT HEREIN RESERVED." NO BUILDINGS OR OTHER STRUCTURES ARE TO BE ERECTED OR MAINTAINED UPON SAID STRIPS OF LAND, BUT OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF THE UTILITIES. THE FOREGOING COVENANTS (OR RESTRICTIONS) ARE TO RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND ALL PERSONS CLAIMING UNDER THEM UNTIL JANUARY 1, 2027 (A TWENTY-FIVE-YEAR PERIOD IS SUGGESTED). AT WHICH TIME SAID COVENANTS (OR RESTRICTIONS) SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIODS OF 10 YEARS AND SHALL REMAIN IN FULL FORCE AND EFFECT UNLESS CHANGED AT THE END OF SUCH PERIOD OF 10 YEARS BY VOTE OF A MAJORITY OF THE THEN OWNERS OF THE BUILDING SITES COVERED BY THESE COVENANTS (OR RESTRICTIONS). § 220-3.8 § 220-3.8 :2 THE RIGHT TO ENFORCE THESE PROVISIONS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL, BY DUE PROCESS OF LAW, OF ANY STRUCTURE OR PART THEREOF ERECTED OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE PUBLIC AND RESERVED TO THE SEVERAL OWNERS OF THE SEVERAL LOTS IN THIS SUBDIVISION AND TO THEIR HEIRS AND ASSIGNS.

WITNESS OUR HANDS AND SEALS THIS _____ DAY OF ______

20 ____. STATE OF ______: :SS COUNTY OF _____
ON THIS, THE _____ DAY OF _____, 20 ____ BEFORE ME, __, THE UNDERSIGNED OFFICER, PERSONALLY CAME KAREN HUTTON, KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT KAREN HUTTON EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

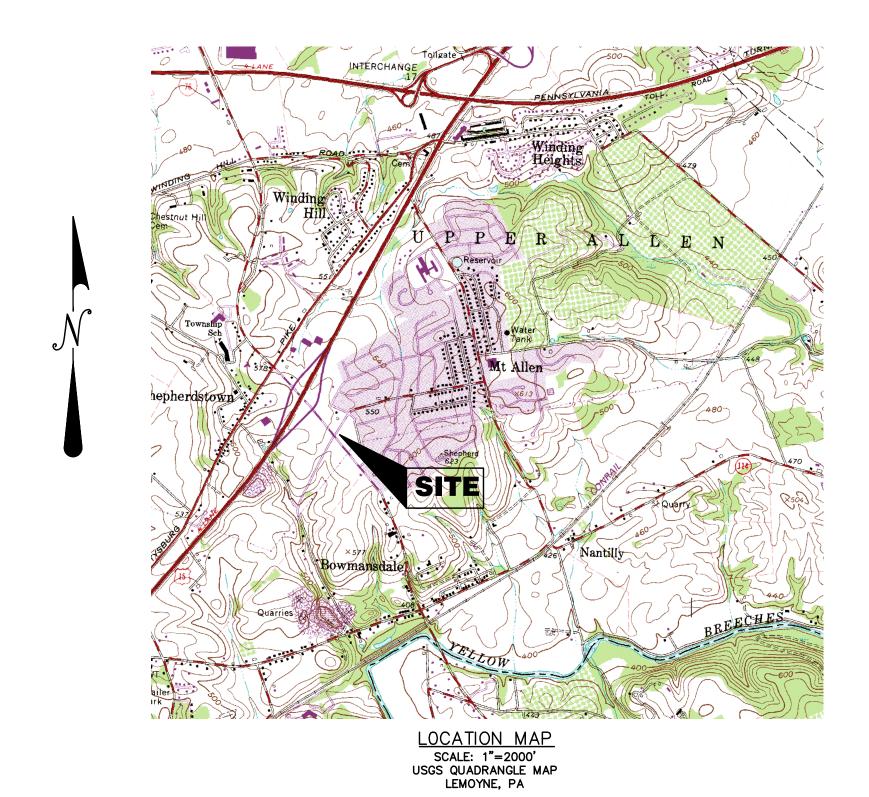
NOTARY PUBLIC MY COMMISSION EXPIRES THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR

APPROVALS BY PERMITTING AGENCIES. THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES.

AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY

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127 KIM ACRES DRIVE, MECHANICSBURG, PA 17055 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA OCTOBER 27, 2023



PREPARED FOR:

HUTTON MECHANICSBURG PA ST, LLC

736 CHERRY ST CHATTANOOGA, TN 37402 ATTN - ALEJANDRO QUINTANA PHONE - 404-805-0797

PREPARED BY:



Morris Knowles & Associates, Inc.

Consulting Engineers & Land Surveyors 443 ATHENA DRIVE DELMONT, PA 15626

TELEPHONE: (724) 468-4622 FAX: (724) 468-8940

I, TROY A. LEIGHTY, HEREBY CERTIFY THAT I AM A REGISTERED LAND
SURVEYOR IN COMPLIANCE WITH THE LAWS OF OF THE COMMONWEALTH
OF PENNSYLVANIA; THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY
COMPLETED BY ME ON JULY 23, 2021; THAT ALL THE MONUMENTS
SHOWN THEREON ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE,
TYPE AND MATERIAL ARE ACCURATELY SHOWN.

(SEAL)

HEREBY CRITERIA ORDINAN	OF					STANDARDS EMENT	AND
ATTEST:_		 	 				

I, MARK M. ZIMMERMAN, ON THIS DATE JULY 26, 2023, HAVE REVIEWED AND

REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT, THIS _____ DAY OF ______, 20____.

ATTEST:______
DIRECTOR OF PLANNING

INDEX OF SHEETS

TITLE SHEET	C000
EXISTING CONDITIONS/DEMOLITION PLAN	C100
SITE PLAN	C200
PAVEMENT PLAN	C201
SITE OVERVIEW	C202
GRADING PLAN	C300
CAR WASH TUNNEL ENTRANCE GRADING PLAN	C301
UTILITY PLAN	C400
LANDSCAPE PLAN	C500
GENERAL DETAILS	C600
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GENERAL DETAILS	C602
EROSION AND SEDIMENT CONTROL TITLE SHEET	C700
EROSION AND SEDIMENT CONTROL PLAN	C701
EROSION AND SEDIMENT CONTROL PLAN DETAILS	C702
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	C800
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	C801
STORMWATER UTILITY PROFILES	C802

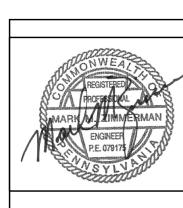
<u>ADDITIONAL SHEETS</u>

SITE LIGHTING PLAN	1
	i

DEFERRAL LIST

THE BELOW LIST OF DEFERRALS HAVE BEEN GRANTED BY UPPER ALLEN TOWNSHIP FOR THIS DEVELOPMENT: UPPER ALLEN TOWNSHIP SALDO SECTION 220-5.3 A - CURBS UPPER ALLEN TOWNSHIP SALDO SECTION 220-5.3 B - SIDEWALK

CONDITIONALLY APPROVED BY THE BOARD ALLEN TOWNSHIP, THIS DAY OF THE CONDITIONS OF APPROVAL WERE SAT , 20	OF COMMISSIONERS OF UPPER OF, 20 TISFIED THIS DAY OF
SEAL)	
ATTEST:	PRESIDENT
SEGNETARY	T NEOIDENT
APPROVED BY THE BOARD OF COMMISSIC TOWNSHIP, THIS DAY OF	
SEAL)	
ATTEST:	DDECIDENT
SECRETART	PRESIDENT
REVIEWED BY THE PLANNING COMMISSION THIS DAY OF	OF UPPER ALLEN TOWNSHIP, , 20
SEAL)	
ATTECT.	
ATTEST:	PRESIDENT



SCALE:

N/A

Orris & Associe (A Hammontr

SHEET NO. C000

NOTE

1. THE SUBJECT PROPERTIES ARE NOT LOCATED WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD MAP NUMBER 42041C0286E, LAST REVISED MARCH 16, 2009.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY CONNECTIONS PRIOR TO CONSTRUCTION/DEMOLITION AT THIS SITE. THE CONTRACTOR SHALL ALSO COORDINATE ALL UTILITY CONNECTIONS WITH LOCAL PROVIDERS.
- 3. ALL EXISTING PAVEMENT, CURB AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT AS SHOWN ON PLANS
- 4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRIVES, WALKS, EXISTING PAVEMENT AND CURBING WITHIN THE LIMITS AS SHOWN. ALL DEBRIS IS TO BE HAULED OFF-SITE TO AN APPROVED
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE MUNICIPALITY OF UPPER ALLEN TOWNSHIP. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF TRAFFIC THROUGH THE CONSTRUCTION PERIOD.

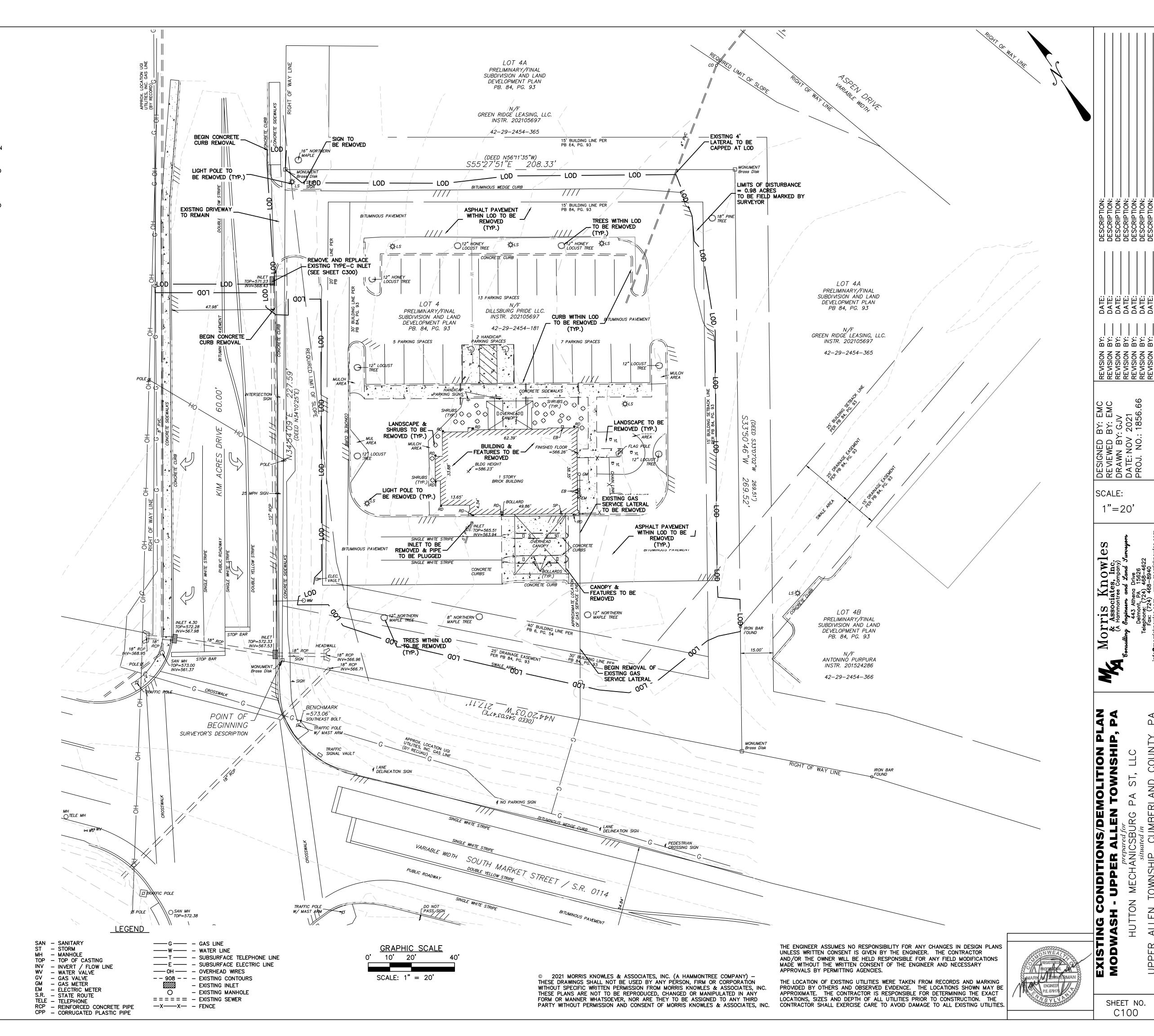
SOIL MAP UNIT LEGEND					
MAP UNIT SYMBOL	MAP UNIT NAME	PERCENT WITHIN LOD			
BdB	BEDINGTON SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES	100			

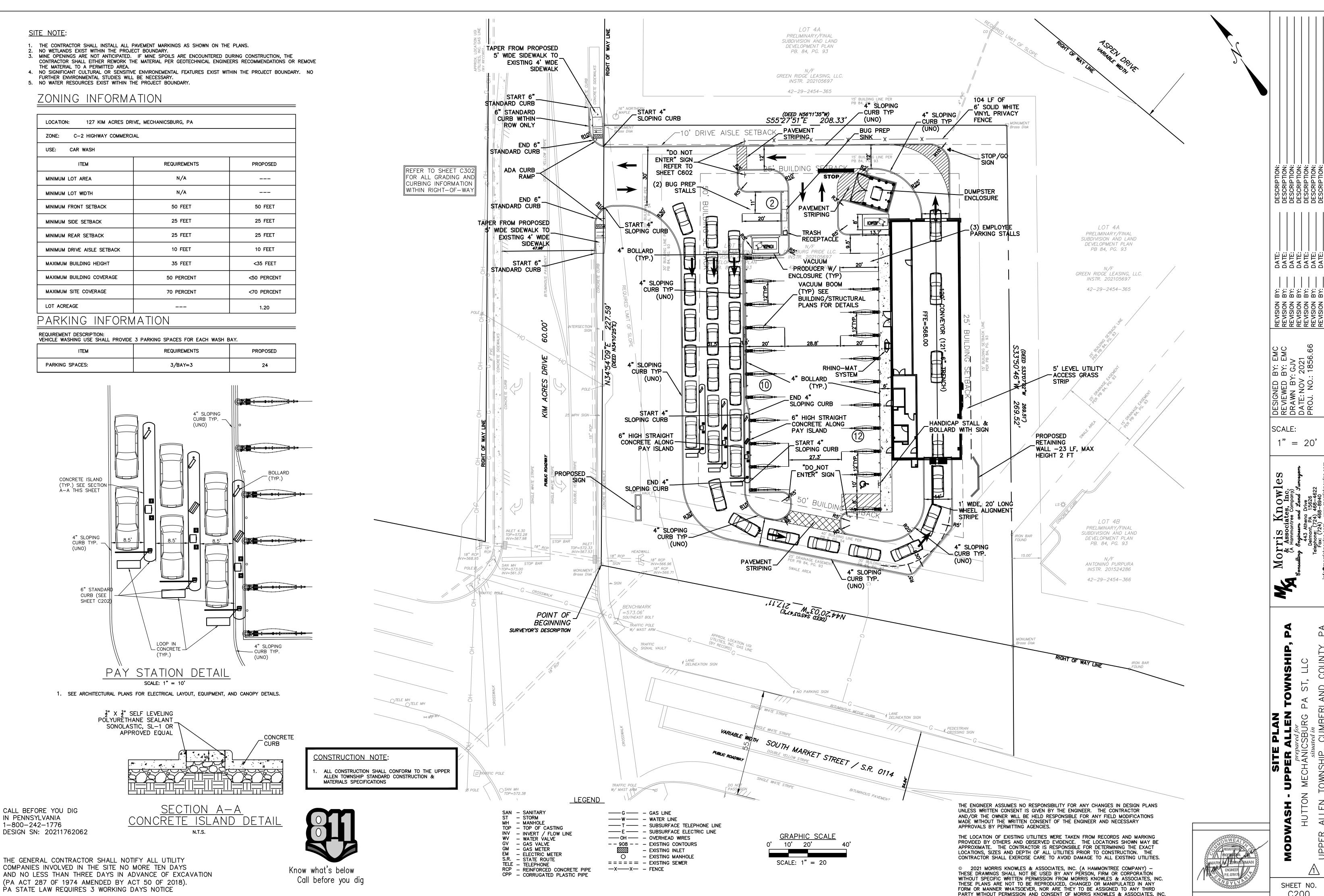


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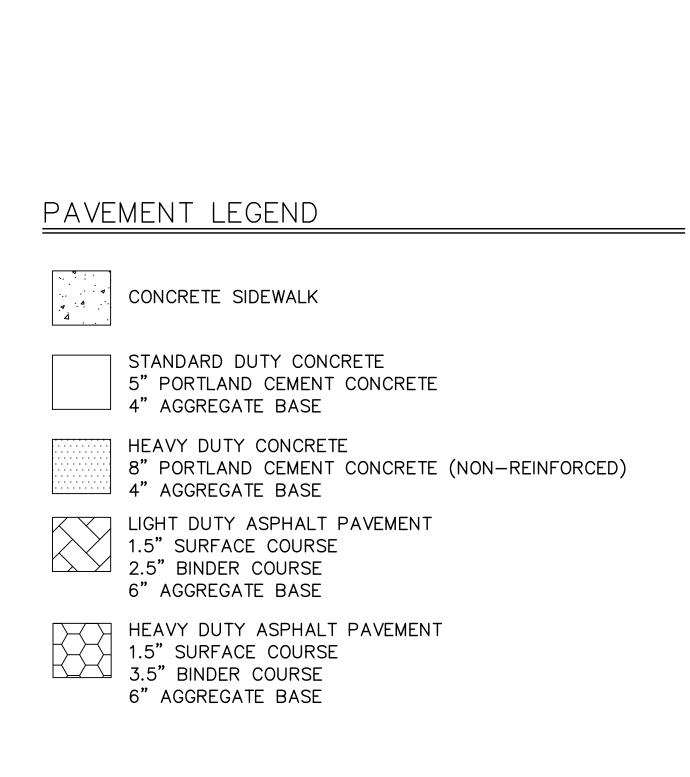
Know what's below Call before you dig

THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED IN THE SITE NO MORE TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION (PA ACT 287 OF 1974 AMENDED BY ACT 50 OF 2018). PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE





C200



CONSTRUCTION NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE UPPER

ALLEN TOWNSHIP STANDARD CONSTRUCTION & MATERIALS SPECIFICATIONS

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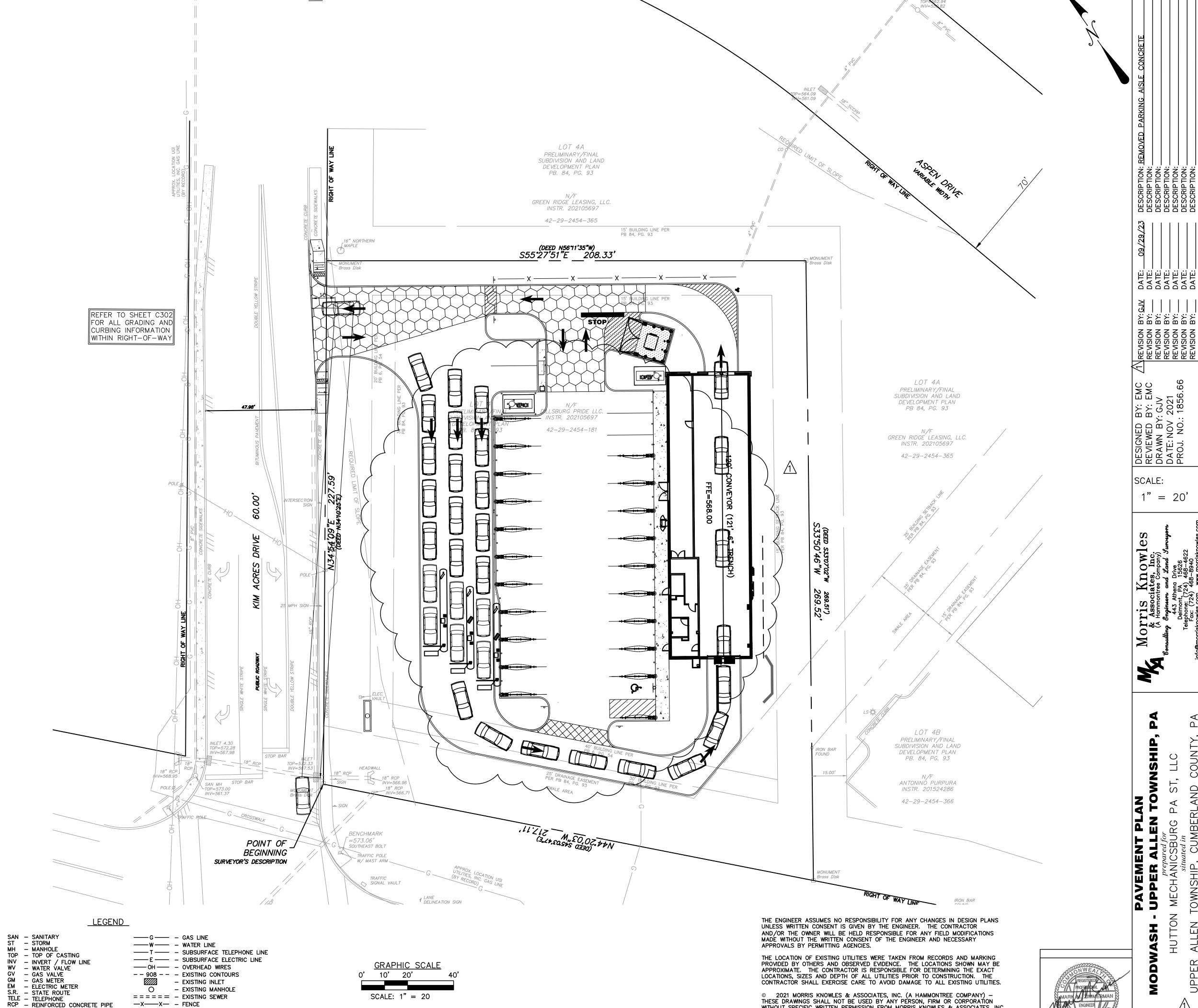
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CPP - CORRUGATED PLASTIC PIPE

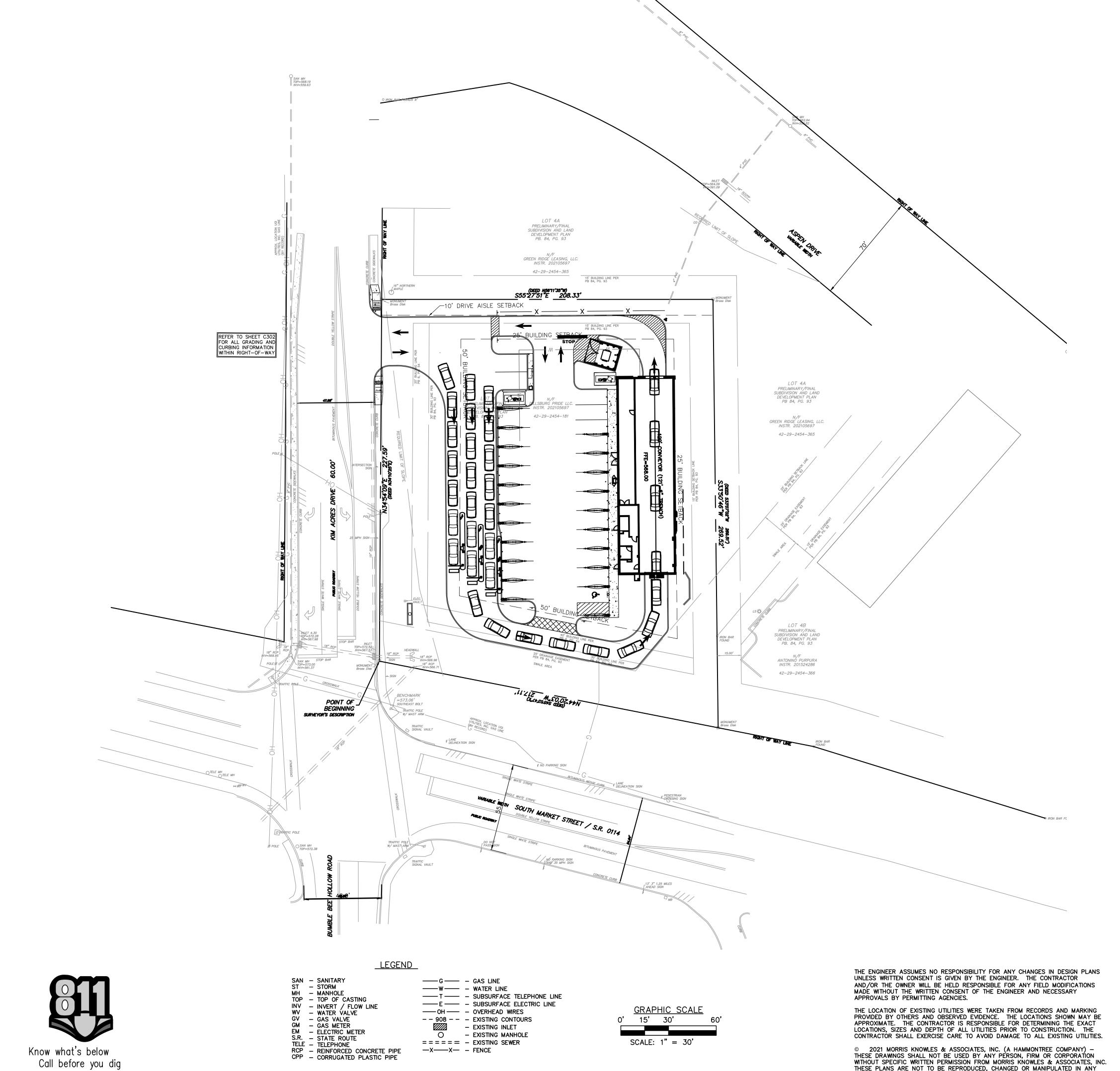


WITHOUT SPECIFIC WRITTEN PERMISSION FROM MORRIS KNOWLES & ASSOCIATES, INC.

PARTY WITHOUT PERMISSION AND CONSENT OF MORRIS KNOWLES & ASSOCIATES, INC.

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SHEET NO. C201



CONSTRUCTION NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION &

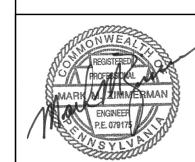
MATERIALS SPECIFICATIONS

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C202

SHEET NO.

DATE: DATE: DATE: DATE: DATE: DATE:

DESIGNED BY: E REVIEWED BY: E DRAWN BY: GJV DATE: NOV 202 PROJ. NO.: 185

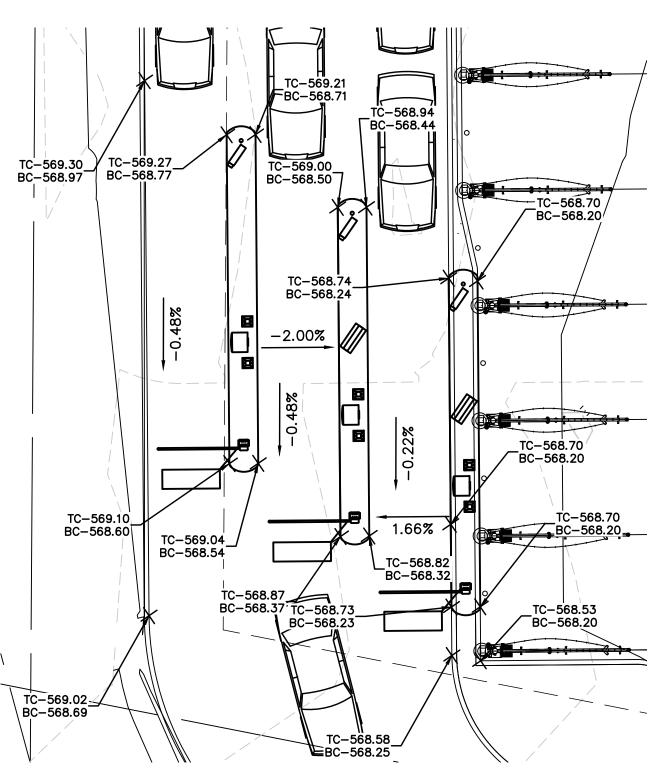
1" = 30'

SCALE:

Morris & Assoc (A Hammo

GRADING NOTES:

- 1. THE CONTRACTOR SHALL COMPACT ALL FILL MATERIALS OUTSIDE OF PROPOSED BUILDING AREAS, PLACED IN LIFTS, AND COMPACTED TO 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR) OR 95% BY ASTM-D698 (STANDARD PROCTOR). PLACE FILL IN EIGHT-INCH LIFTS AND COMPACT WITH AN IMPACT-TYPE ROLLER (I.E. SHEEPSFOOT ROLLER). PROVIDE FOR INSPECTION OF ALL FILL AS IT IS PLACED FOR PROPER DENSITY BY A GEOTECHNICAL TESTING FIRM.
- 2. ALL CUT AND FILL OPERATIONS SHALL FOLLOW THE "PENNSYLVANIA HANDBOOK OF BEST MANAGEMENT PRACTICES" FOR DEVELOPING AREAS.
- 3. THE CONTRACTOR SHALL NOT EXCEED A MAXIMUM GRADE BREAK OF 8% IN THE PROPOSED DRIVEWAYS.
- 4. THE CONTRACTOR SHALL CONTROL DUST ON THE SITE IN ACCORDANCE WITH PA DEP REQUIREMENTS.
- 5. THE CONTRACTOR SHALL NOT REMOVE SOIL FROM THE SITE. IF THE CONTRACTOR DISCOVERS CONTAMINATED SOIL ON THE SITE DURING CONSTRUCTION ACTIVITIES, THEN THE SOILS SHALL BE CLEANED AND DISPOSED OF AT AN APPROVED LANDFILL IN ACCORDANCE WITH PADEP RULES, REGULATIONS AND REQUIREMENTS.
- 6. HANDICAPPED SPACES AND ACCESS ISLES MAXIMUM SLOPE IS 2% IN ALL DIRECTIONS.



PAY STATION DETAIL

CONSTRUCTION NOTE:

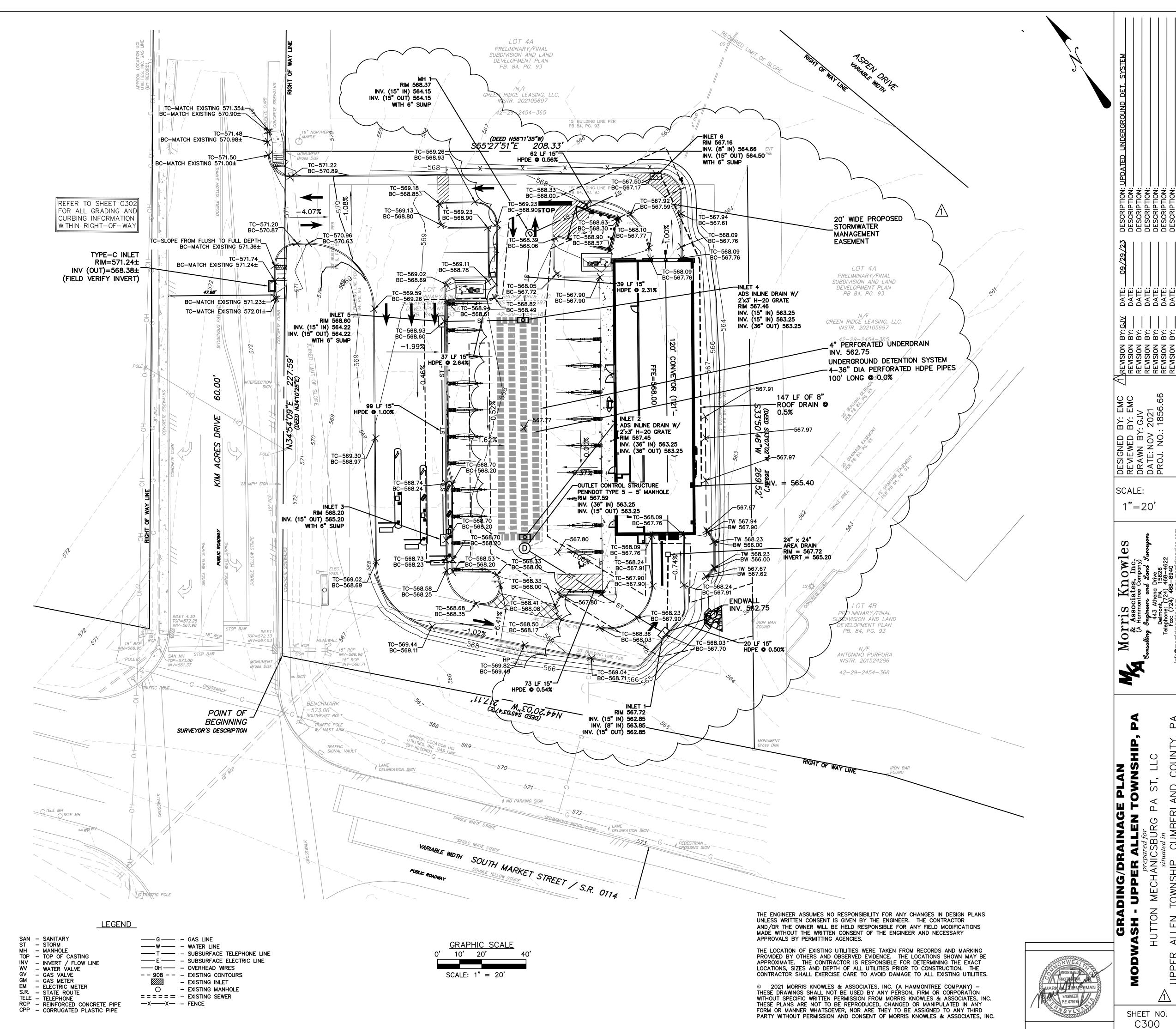
ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION & MATERIALS SPECIFICATIONS

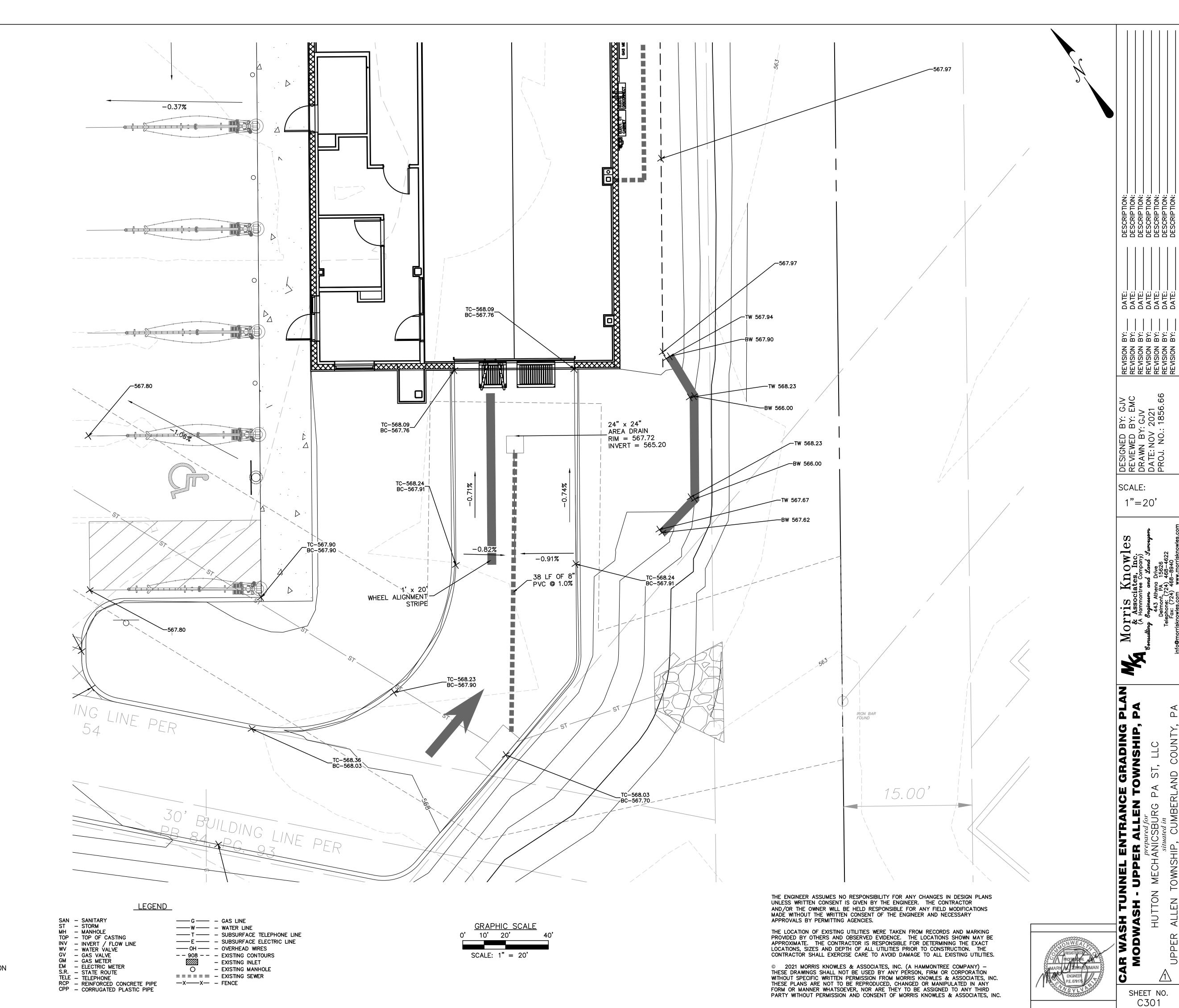


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EXISTING 6" CONCRETE CURB TC-MATCH EXISTING 571.35± BC-MATCH EXISTING 570.90±-__SIDEWALK MATCH EXISTING 571.40± TC-571.48_ BC-MATCH EXISTING 570.98± 571.40-<u>ЁЁЁЁЁЁЁ</u>Ё TAPER TO FULL TC-571.50_ BC-MATCH EXISTING 571.00± DEPTH 4" SLOPING CURB _TC-571.22 BC-570.89 TC-571.00_ BC-571.00 TC-570.93 BC-570.93 **CONSTRUCTION NOTE:** ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION & DES DR, DA MATERIALS SPECIFICATIONS SCALE: 1"=20' -4.07% TC-571.20_ BC-570.87 Morris & Assoc (A Hammo TAPER TO FULL — DEPTH 4" SLOPING CURB __TC-570.96 BC-570.63 TC-571.08_ BC-571.08 TC-SLOPE FROM FLUSH TO FULL DEPTH_ BC-MATCH EXISTING 571.36± TC-571.74_ BC-MATCH EXISTING 571.24± TYPE-C INLET TAPER FROM PROPOSED 5' WIDE SIDEWALK TO EXISTING RIM=571.24± INV (OUT)=568.38± (FIELD VERIFY INVERT) 4' WIDE SIDEWALK LOT 4 PRELIMINARY/FINAL SUBDIVISION AND LAND 47.98' DEVELOPMENT PLAN _TC-569.59 BC-569.26 __SIDEWALK | MATCH EXISTING 572.11± BC-MATCH EXISTING 571.23± THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHARGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. E CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR AN FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES. <u>LEGEND</u> TC-MATCH EXISTING 572.01±-Know what's below DESIGN SN: 20211762062 SAN — SANITARY ST — STORM ——G—— – GAS LINE Call before you dig EXISTING 8" ——W—— – WATER LINE THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT MH - MANHOLE CONCRETE CURB T - SUBSURFACE TELEPHONE LINE TOP - TOP OF CASTING ----E --- - SUBSURFACE ELECTRIC LINE INV - INVERT / FLOW LINE LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES. WATER VALVE THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY GAS VALVE -- 908 -- - EXISTING CONTOURS GAS METER EXISTING INLET © 2021 MORRIS KNOWLES & ASSOCIATES, INC. (A HAMMONTREE COMPANY) - ELECTRIC METER EXISTING MANHOLE S.R. – STATE ROUTE TELE – TELEPHONE THESE DRAWINGS SHALL NOT BE USED BY ANY PERSON, FIRM OR CORPORATION = = = = = EXISTING SEWER WITHOUT SPECIFIC WRITTEN PERMISSION FROM MORRIS KNOWLES & ASSOCIATES, INC. RCP - REINFORCED CONCRETE PIPE CPP - CORRUGATED PLASTIC PIPE THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR MANIPULATED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD —X——X— – FENCE SHEET NO. PARTY WITHOUT PERMISSION AND CONSENT OF MORRIS KNOWLES & ASSOCIATES, INC.

CALL BEFORE YOU DIG IN PENNSYLVANIA 1-800-242-1776

COMPANIES INVOLVED IN THE SITE NO MORE TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION (PA ACT 287 OF 1974 AMENDED BY ACT 50 OF 2018). PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

WATERLINE NOTES: WATERLINE SHALL CONFORM TO AWWA C900 FOR PVC PLASTIC PIPE. PVC WATERLINE PIPE SHALL BE CLASS 200, DR-14 PVC PIPE. FITTINGS SHALL CONFORM TO AWWA C110. WATERLINES CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATERLINE AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATERLINE IS EITHER ABOVE OR BELOW THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED. 3. ALL TYPES OF INSTALLED WATER PIPE SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LASTEST EDITION OF AWWA STANDARD C600. 4. ALL NEW, CLEANED OR REPAIRED WATERLINES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA 5. ALL WATERLINE PIPES, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARD SPECIFICATIONS: A.21.10 ANSI, A.21.11 ANSI, A.21.50 ANSI, A.21.51 ANSI, AND A.21.4 ANSI. 6. SHOP DRAWINGS AND CATALOG CUTS FOR ALL MATERIALS USED IN CONSTRUCTION MUST BE APPROVED BY THE AUTHORITY PRIOR TO THE START OF WORK. 7. ALL MATERIALS FOR THE PROPOSED WATERLINE SHALL BE PURCHASED FROM THE MUNICIPAL AUTHORITY OF CUMBERLAND COUNTY. 8. THE PROPOSED WATERLINE SHALL BE IN ACCORDANCE WITH THE MUNICIPAL AUTHORITY OF CUMBERLAND COUNTY SPECIFICATIONS. THE AUTHORITY WILL INSPECT THE INSTALLATION OF **UTILITY NOTES:** 1. ALL EXISTING UTILITIES SERVING THIS PROPERTY SHALL BE PROPERLY TERMINATED AT THE RIGHT-OF-WAY LINE IN COMPLIANCE WITH TOWNSHIP AND COUNTY REGULATIONS. CONTRACTOR SHALL PROVIDE EVIDENCE OF COMPLIANCE WITH ALL STATE AND FEDERAL LAWS REGARDING THE DEMOLITION OF STRUCTURES AND ABANDONMENT OF UTILITIES. 2. ANY UTILITIES FOUND DURING EXCAVATION, NOT SHOWN ON PLAN, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. 3. EACH SUBCONTRACTOR SHALL OBTAIN HIS OR HER OWN PERMITS AND CONTACT THE UTILITY COMPANY FOR VERIFICATION AND LOCATION OF HOOK-UP PRIOR TO ANY WORK BEING DONE. 4. UTILITIES SHOWN WERE TAKEN IN PART FROM RECORDS OF RESPECTIVE UTILITY COMPANIES AND PART FROM A SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND OR OVERHEAD UTILITIES ADJACENT TO OR UPON THE PREMISES SHOWN ON THE PLAN. 5. THE CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS AND SIZE AT THE BUILDING WITH THE MECHANICAL DRAWINGS AND PROVIDE CONNECTIONS WITH EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY PROVIDER'S REQUIREMENTS. 6. ALL UTILITIES SHALL BE UNDERGROUND. 7. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED AND TESTED IN ACCORDANCE WITH THE BOROUGH, CITY, AUTHORITY, OR COUNTY STANDARDS AND REGULATIONS. THE ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 24 HOURS IN ADVANCE FOR SCHEDULING OF AN 8. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY 9. CONTRACTOR SHALL VERIFY THE LOCATION AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO

SANITARY SEWER NOTES:

CONSTRUCTION.

- 1. SANITARY SEWER LATERAL SHALL BE 6" DIAMETER OF PVC ASTM D-3034, SDR-35 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH MINIMUM 0.5% SLOPE AND HAVE A MINIMUM OF 4'-0" COVER.
- 2. SANITARY SEWER MAINS SHALL BE 8" DIAMETER OF PVC ASTM D-3034, SDR-35 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH MINIMUM 1.0% SLOPE AND HAVE A MINIMUM OF 4'-0" COVER.
- 3. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- 4. SANITARY SEWERS SHALL BE TESTED BY LOW PRESSURE AIR TESTS AND/OR OTHER TESTS AS REQUIRED BY THE AUTHORITY.
- 5. MANHOLE LIDS SHALL BE EQUIPPED WITH SELF-SEALING GASKETS.
- 6. SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.

PLAN AND OUTLET THEM INTO THE NEAREST INLET BOX.

- 7. THE MUNICIPAL AUTHORITY WILL INSPECT ALL SANITARY SEWER LINES AND LATERALS.
- 8. THE CONTRACTOR SHALL INSTALL NEW SANITARY SEWER LATERALS FROM THE BUILDING TO THE SANITARY SEWER MAIN LINE. EXISTING LATERALS UNDER EXISTING ROADS MAY BE USED, BUT THEY MUST BE VIDEOED AND LINED IN ACCORDANCE WITH THE AUTHORITY'S REQUIREMENTS.

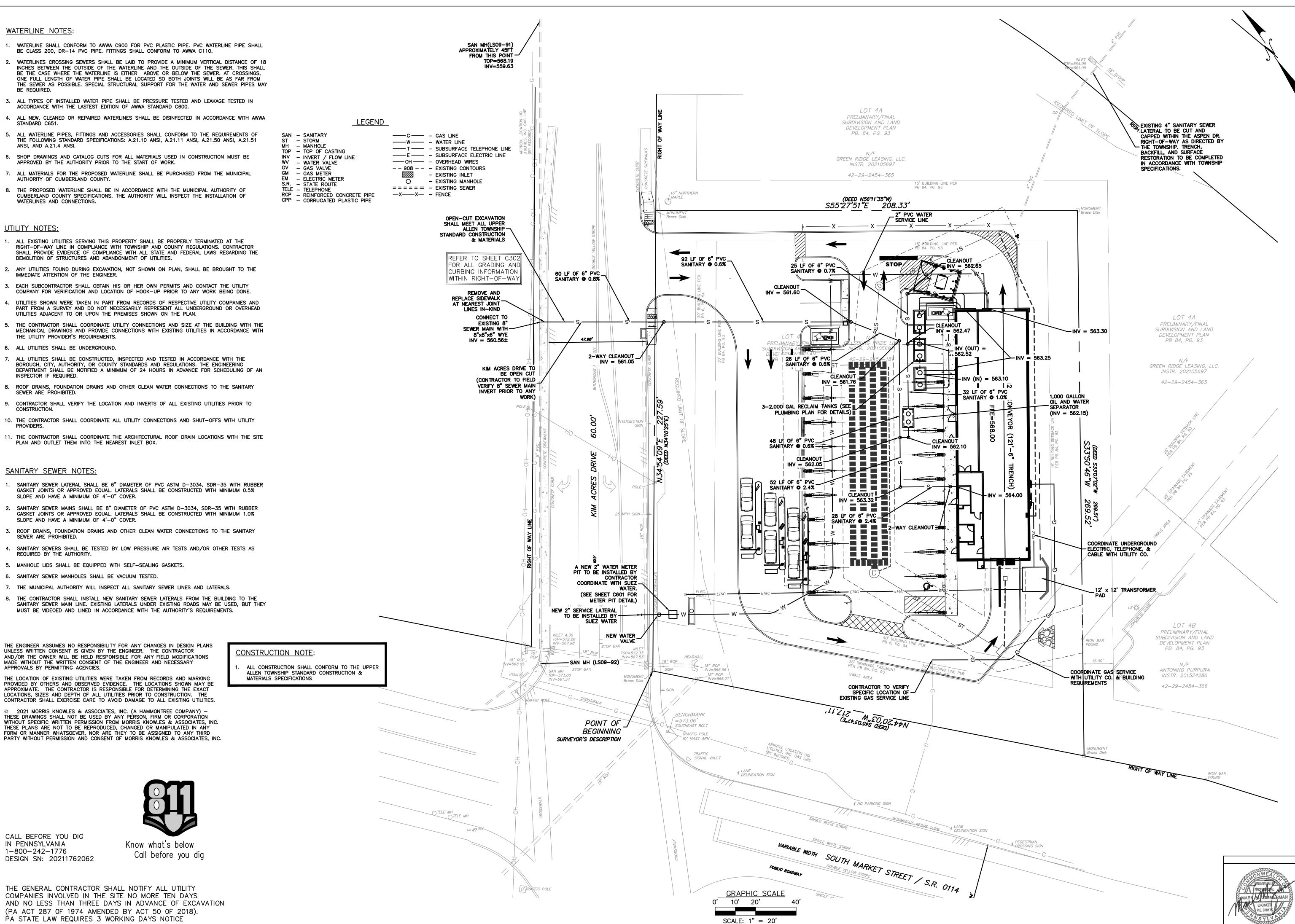
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES.

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1"=20'

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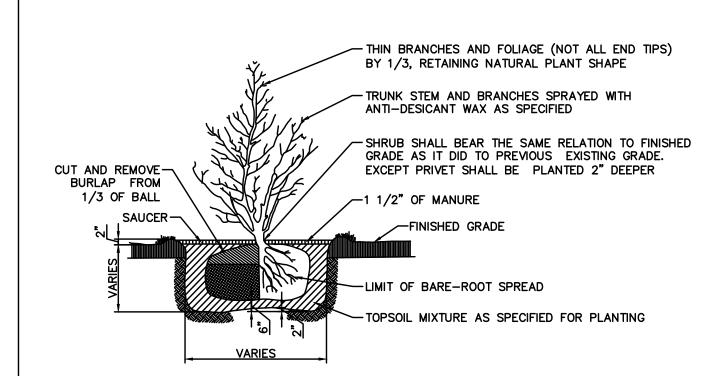
7.%<

SHEET NO. C400

LANDSCAPING NOTES:

- 1. ALL PLANTING BEDS SHALL RECEIVE 3" DOUBLE SHREDDED BARK MULCH. 2. ALL PLANTING BEDS SHALL BE BACKFILLED WITH 6" DEPTH CLEAN TOPSOIL FREE OF BUILDING
- DEBRIS, CRUSHED ROCK, MORTAR MIX, ETC. 3. REPAIR/RESEED ALL DISTURBED AREAS WITH SPECIFIED SEED MIXTURES.
- 4. SEED ALL 2:1 OR STEEPER SLOPES WITH BIRDSFOOT TREFOIL AND TALL FESCUE MIX.
- 5. ALL DISTURBED AREAS LESS 2:1 SLOPE SHALL BE SEEDED WITH LAWN SEEDING MIXTURE. 6. ALL LAWN AREAS SHALL BE BACKFILLED WITH 6" DEPTH CLEAN TOPSOIL FREE OF BUILDING
- DEBRIS, CRUSHED ROCK, MORTAR MIX, ETC. 7. ALONG SIDEWALKS, FOUNDATIONS AND CURBINGS, UNDER-RUN FROM CONCRETE FORMS SHALL
- BE BROKEN AWAY AND REMOVED. 8. PRIOR TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IN THE FIELD THE LOCATIONS OF ALL EXISTING UTILITIES.
- 9. ALL PLANT MATERIALS SHALL BE OF SPECIMEN QUALITY AND COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (MOST CURRENT EDITION), 10. ALL PLANT MATERIAL TO BE RE-USED SHALL BE TAGGED BY OWNER. ALL EXISTING PLANT
- MATERIAL TO BE RE-USED SHALL BE STORED AS SHOWN ON PLAN PRIOR TO PLANTING DURING CONSTRUCTION. 11. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH ARBORICULTURAL STANDARDS. DAMAGED TREE LIMBS SHALL BE CUT BACK TO
- THE NEXT LATERAL BRANCH OR PARENT STEM AT THE BRANCH COLLAR. 12. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS
- CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.

 13. THE OWNER RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL DEEMED NOT
- 14. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- 15. REMOVE BURLAP, ROPES, WIRE, AND OTHER NON-BIODEGRADABLE MATERIALS BALLS AFTER FINAL POSITIONING.
- 16. SPADE CUT ALL BED EDGES AND MULCHED RINGS ARE TO BE SPADE CUT TO A DEPTH OF 6", CUT AT 90° TO THE FINISHED GRADE AND THEN BACK TOWARD THE PLANT BED AT 45°. 17. TOPSOIL SHALL BE FROM A NATURALLY WELL DRAINED SITE WHERE SOIL OCCURS AT A DEPTH OF AT LEAST 4". TOPSOIL SHOULD HAVE A pH OF 5.5 TO 7 WITH 4 PERCENT ORGANIC MATERIAL MINIMUM AND BE FREE OF STONES 1" DIAMETER OR LARGER, ROOTS, PLANTS, CLAY
- LUMPS AND OTHER MATERIALS HARMFUL TO PLANT GROWTH. 18. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24—HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL DEAD PLANT MATERIAL FROM NATURAL CAUSES INSTALLED PURSUANT TO THESE REQUIREMENTS FOR A PERIOD OF ONE (1) YEAR AFTER THE INSTALLATION DATE. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/APPLICANT TO ASSURE THE CONTINUED GROWTH OF ALL REQUIRED LANDSCAPING AND/OR TO REPLACE THE SAME IN THE EVENT OF FROST, VANDALISM, DISEASE, OR OTHER REASONS FOR DISCONTINUED GROWTH OF THE REQUIRED TREES, SHRUBS, AND BRUSHES. IT IS THE OWNER'S RESPONSIBILITY FOR ALL FUTURE MAINTENANCE. NO PERSON SHALL REMOVE ANY LANDSCAPING (i.e. TREES, SHRUBS, OR BRUSHES) AFTER THE SAME HAS BEEN PLANTED UNLESS THE SAME ARE REPLACED WITH AN
- EQUIVALENT TREE, SHRUB, OR BUSH. 20. PERMANENT SEEDING SHALL BE REQUIRED FOR ALL DISTURBED SLOPE AREAS WITHIN FOURTEEN
- (14) DAYS OF COMPLETION OF GRADING OPERATIONS, WEATHER PERMITTING. 21. THE CONTRACTOR SHALL NOT PLANT SHRUBS IN AREAS UNDERLAIN BY SHALLOW DEPTH TO ROCK. 22. AFTER PLANTS ARE ESTABLISHED, ALL PLANT STAKING SHALL BE REMOVED.



PLANT MUST BE SET AT -NURSERY DEPTH - STAKING OF TREES IS CONTRACTORS OPTION, REMOVE BURLAP FROM -HOWEVER TREES MUST BE PLUMB AT TIME OF FINAL TOP 1/3 OF BALL ACCEPTANCE EVERGREEN TREES
TOPSOIL MIXTURE*

• 4 PARTS TOPSOIL • 1 PART HUMUS

PLANT CALCULATIONS: TABLE

NOT REQUIRED - ALL ADJACENT PROPERTIES ARE ZONED C-2

EACH PLANTING ISLAND SHALL CONTAIN AT LEAST ONE SHADE OR CANOPY TREE

STREET TREES: TREES SHALL BE PLANTED
BETWEEN STREET RIGHT-OF-WAY LINE AND
BUILDING SETBACK LINE AT LEAST 5 FEET
FROM THE SIDEWALK.
A MINIMUM OF 2 CANOPY TREES PER 100
FEET OF PUBLIC RIGHT-OF-WAY.
TREES SHALL BE PLACED A MINIMUM OF 40
FEET APART ALONG RIGHT-OF-WAY

DUMPSTER SCREENING: 1 SHADE TREE PER 40 LINEAR FEET AND 1 EVERGREEN TREE PER FIVE LINEAR FEET OF VISIBILITY PLUS A

6' SOLID FENCE.

REQUIRED

LANDSCAPING ISLANDS 220-5.13 (2)

PROVIDED

DEVELOPED AREA TOTAL = 0.98 AC

PROPOSED LANDSCAPED AREA = 0.11 AC

TOTAL FRONTAGE: 445 FEET TOTAL TREES PROVIDED: 9 LARGE TREES

A 6' TALL SOLID ENCLOSURE HAS BEEN PROVIDED.

ER TO SHEET C30

BING INFORMATION

HIN RIGHT-OF-WAY

ALL GRADING AND

REQUIREMENTS (10%) = 0.10 AC

TREE PER ISLAND

SHADE TREES REQUIRED: 1 SHADE TREES PROVIDED: 1

• WHERE DRAINAGE IS POOR, PROVIDE 8" DIAMETER HOLE 12" DEEP AND FILL WITH 2B GRAVEL.

PERMANENT STABILIZATION

- POA PRATENSIS (KENTUCKY BLUEGRASS) 90% PURE LIVE SEED, APPLICATION RATE 50LBS/AC
- FESTUCA RUBRA VAR. 'PENNLAWN" (PENNLAWN RED FESCUE)
- 98% PURE LIVE SEED, APPLICATION RATE 30LBS/AC • LOLIUM PERENNE (PERENNIAL RYEGRASS) 98% PURE LIVE SEED,
- APPLICATION RATE 20LBS/AC FERTILIZER: COMMERCIAL FERTILIZER, 10-20-20, 1,000 LBS./ACRE

LIMING: 4,000 LBS./ACRE MULCH: WHEAT OR OAT STRAW WELL CURED TO LESS THAN 20% MOISTURE BY WEIGHT, 5,800 POUNDS PER ACRE

SEEDING DATES: SPRING - MARCH TO MAY 30, FALL - SEPTEMBER 1 TO OCTOBER 15

SEEDING DATES: APRIL-SEPT.

PERMANENT-STEEP SLOPE SPECIES: BIRDSFOOT TREFOIL AND TALL FESCUE MIX % PURE LIVE SEED: 99% APPLICATION RATE: 10 AND 50 LBS/ACRE. RESPECTIVELY FERTILIZER TYPE: COMMERCIAL FERTILIZER 5-10-10 FERTILIZER APPL. RATE: (PER TESTING) 30 LBS/ACRE LIMING RATE: 1 TONS/ACRE MULCH TYPE: HAY & STRAW MULCHING RATE: 3 TONS/ACRE ANCHORING MATERIAL: NONASPHALTIC MATERIAL ANCHORING METHOD: SPRAY RATE OF ANCHORING MATERIAL APPL.: 1000 GAL/SQ.YD.

			PLANT	ING SCH	HEDUL	.E	
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE COND	REMARKS	HEIGHT SPREAD
	BUXMW	14	Buxus microphylla 'Wintergreen'	Wintergreen Littleleaf Boxwood	36" No.3 Cont.	Evergreen	4'-5' 3'-4'
			j	1		,	
\bigcap	ILGD	28	llex glabra 'Densa'	Densa Compact Inkberry	15" B & B	Evergreen	3'-4' 4-5'
e Charles	CERC	8	Continus	Common	6'	Deciduous	25'-30'
			coggygria	Smoketree	B & B	Clump Form	20'-25'
9 000000	PICG	5	Pinus strobus	Eastern White Pine	4' Ht.	Evergreen	40'-60'
A COUNTY OF THE PARTY OF THE PA	1100				B & B		10'-20'
	THOT	14	Thruja accidentalis	Techny (Mission)	4' Ht.	Evergreen	8'
			'Techny'	Eastern Arborvitae	B & B	Dark Green	4' 5'

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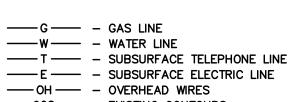
SAN - SANITARY ST - STORM MH — MANHOLE TOP - TOP OF CASTING INV - INVERT / FLOW LINE WATER VALVE GAS VALVE GAS METER ELECTRIC METER

RCP - REINFORCED CONCRETE PIPE

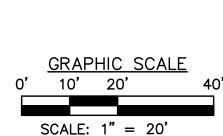
CPP - CORRUGATED PLASTIC PIPE

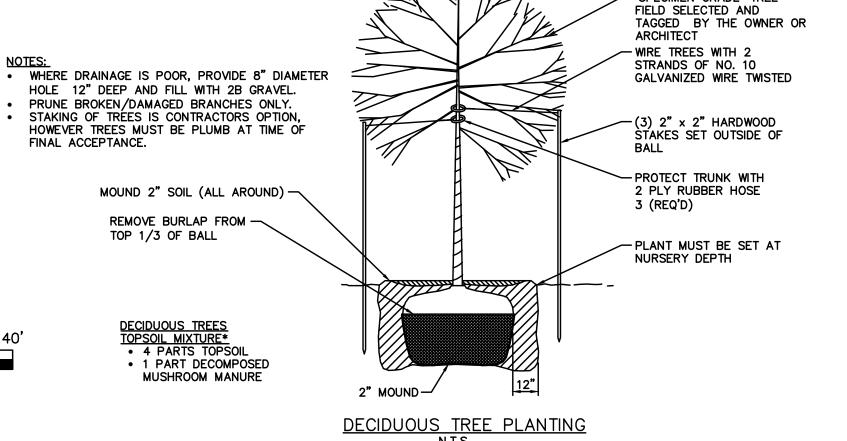
- STATE ROUTE

TELE - TELEPHONE



-- 908 -- - EXISTING CONTOURS EXISTING INLET EXISTING MANHOLE = = = = = EXISTING SEWER —X——X— – FENCE





RAFFIC POLF

'SPECIMEN GRADE' TREE

POINT OF

BEGINNING

SURVEYOR'S DESCRIPTION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES.

CONSTRUCTION NOTE:

MATERIALS SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION &

/N/F

42-29-2454-365

(DEED N5671'35"W) S55'27'51"E 208.33'

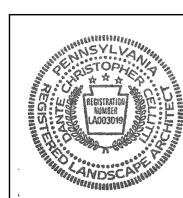
GREEN RIDGE LEASING, LLC.

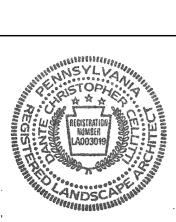
INS/TR. 202105697

15' BUILDING LINE PER PB 84, PG. 93

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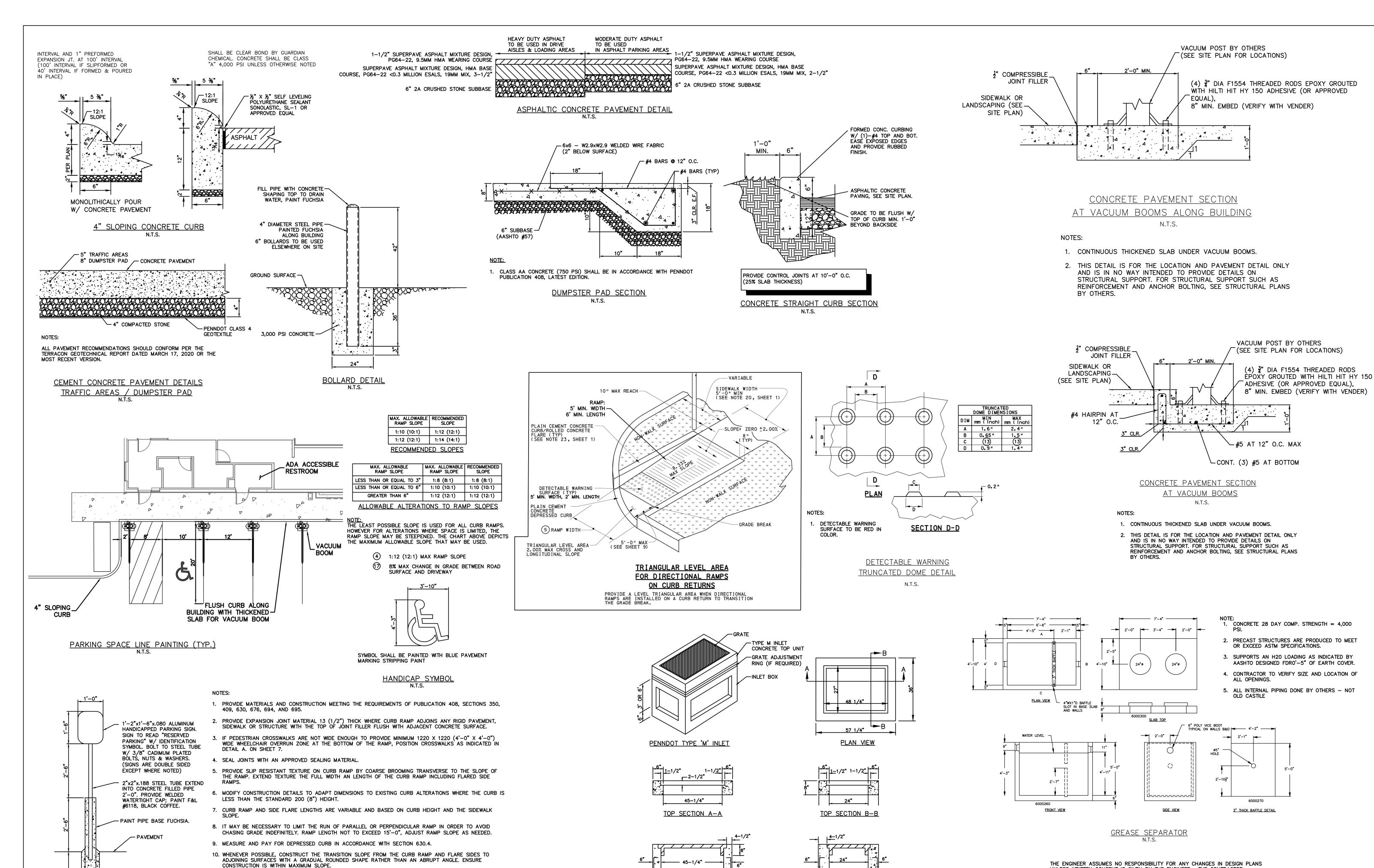
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WED N BY NOV NOV

1"=20'

SCALE:



BOTH WAYS

BOX SECTION B-B

BOX SECTION A-A

11. CONSTRUCT BUILT-UP CURB RAMP OF BITUMINOUS MATERIAL AS INDICATED, INCLUDING SURFACE

EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF THE RAMP.

15. NOWHERE SHALL THE CROSS SLOPE OF THE RAMPS ACCESSIBLE ROUTE EXCEED 2%.

12. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. US CUSTOMARY UNITS IN () PARENTHESIS.

13. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF PEDESTRIAN

14. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES,

16. CONSTRUCT RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. IT IS STRONGLY RECOMMENDED TO USE THE FOLLOWING SLOPES

PREPARATION AND TACK COAT, AS REQUIRED.

TO ALLOW FOR CONSTRUCTION TOLERANCES.

#6-10" LONG BARS EACH

WAY THROUGH PIPE.

- 6" DIA. STD. STEEL PIPE

'-2" DIA. CONCRETE BASE

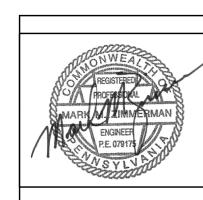
FILLED WITH CONCRETE.

HANDICAP PARKING SIGN

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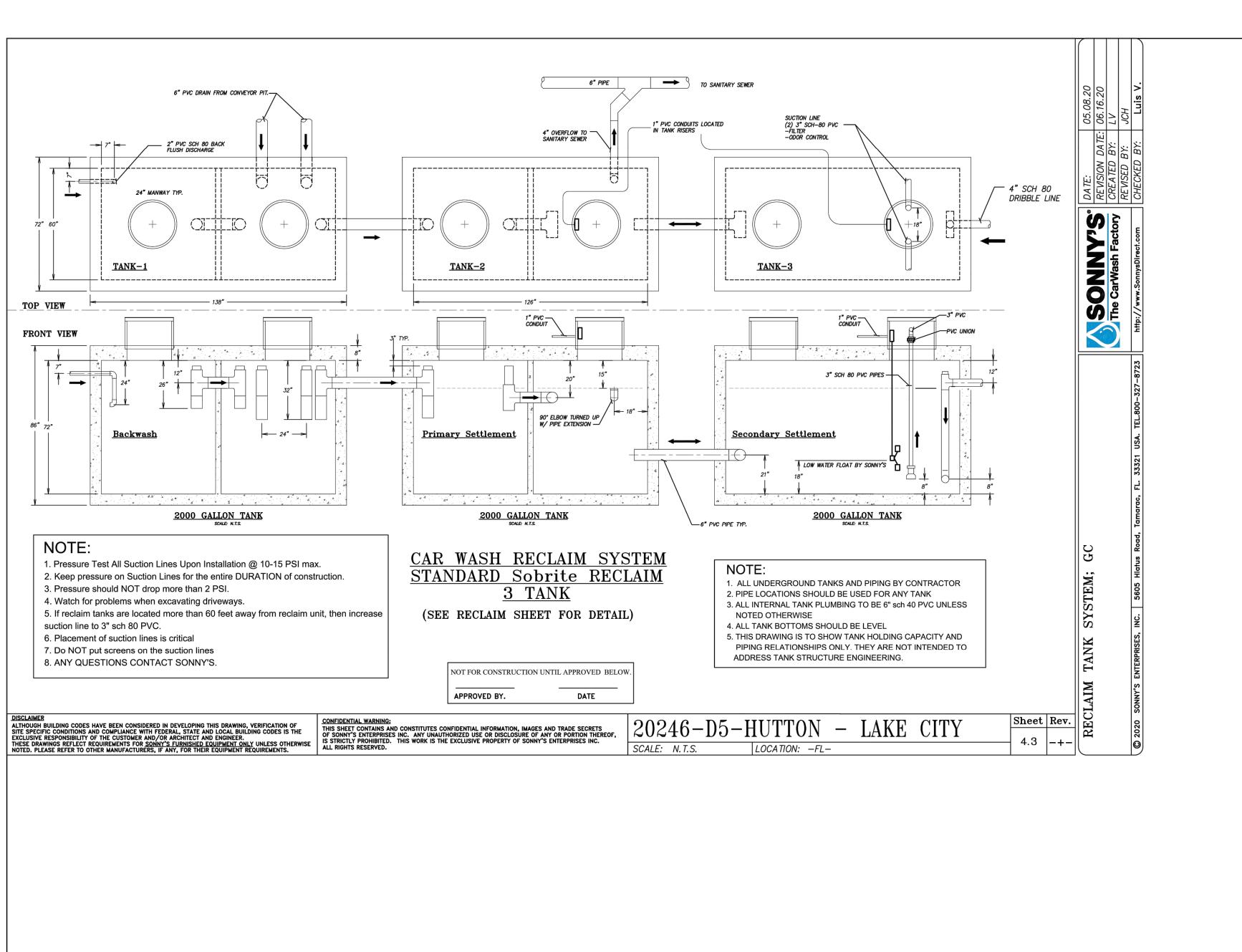
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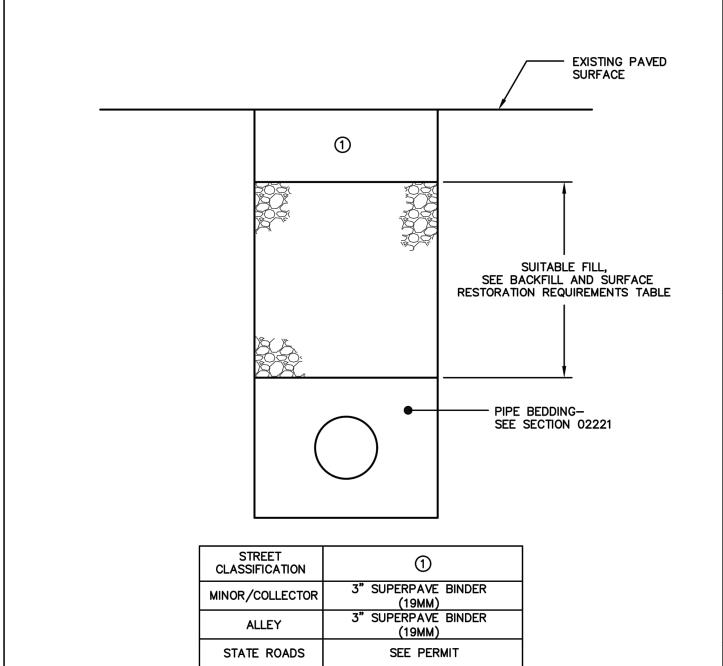
SCALE:

N/A

135

C600





MAINTAIN TEMPORARY PAVING UNTIL PERMANENT

EQUIVALENT MARSHALL MIXES ARE ACCEPTABLE

UPPER ALLEN TOWNSHIP CONSTRUCTION & MATERIAL SPECIFICATIONS

TEMPORARY TRENCH PAVING

PPER ALLEN TWP. CUMBERLAND COUNTY, PENNSYLVANIA

CHECKED BY

N.T.S.

HT02575-1

PAVING IS PLACED. (MIN. 60 DAYS)

C.S.Davidson,Inc

Excellence in Civil Engineering

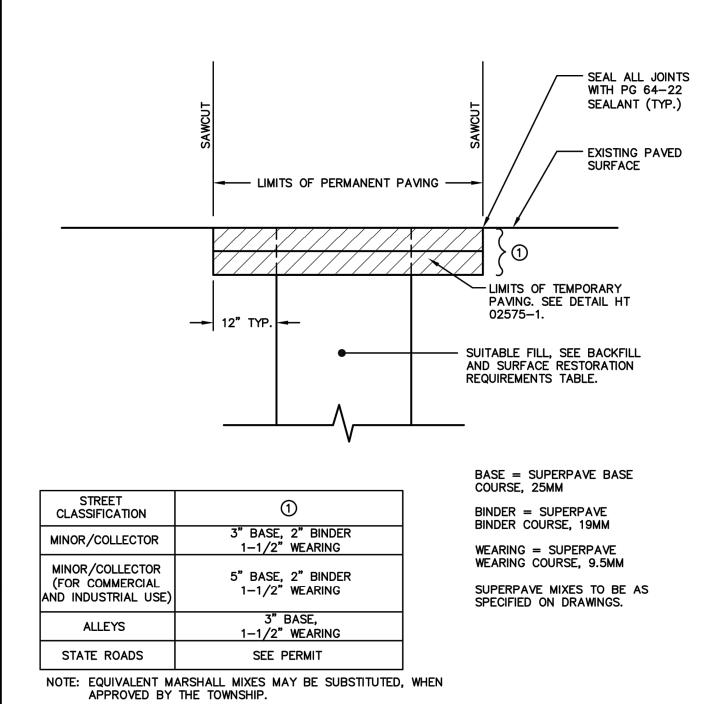
38 N. DUKE STREET YORK, PA . PHONE (717) 846-4805 . FAX (717)846-5811

50 WEST MIDDLE ST. GETTYSBURG, PA . PHONE (717) 337-3021 . FAX (717) 337-0782

6x6 PT WOOD POST.

(TYP @ (10) LOCATIONS

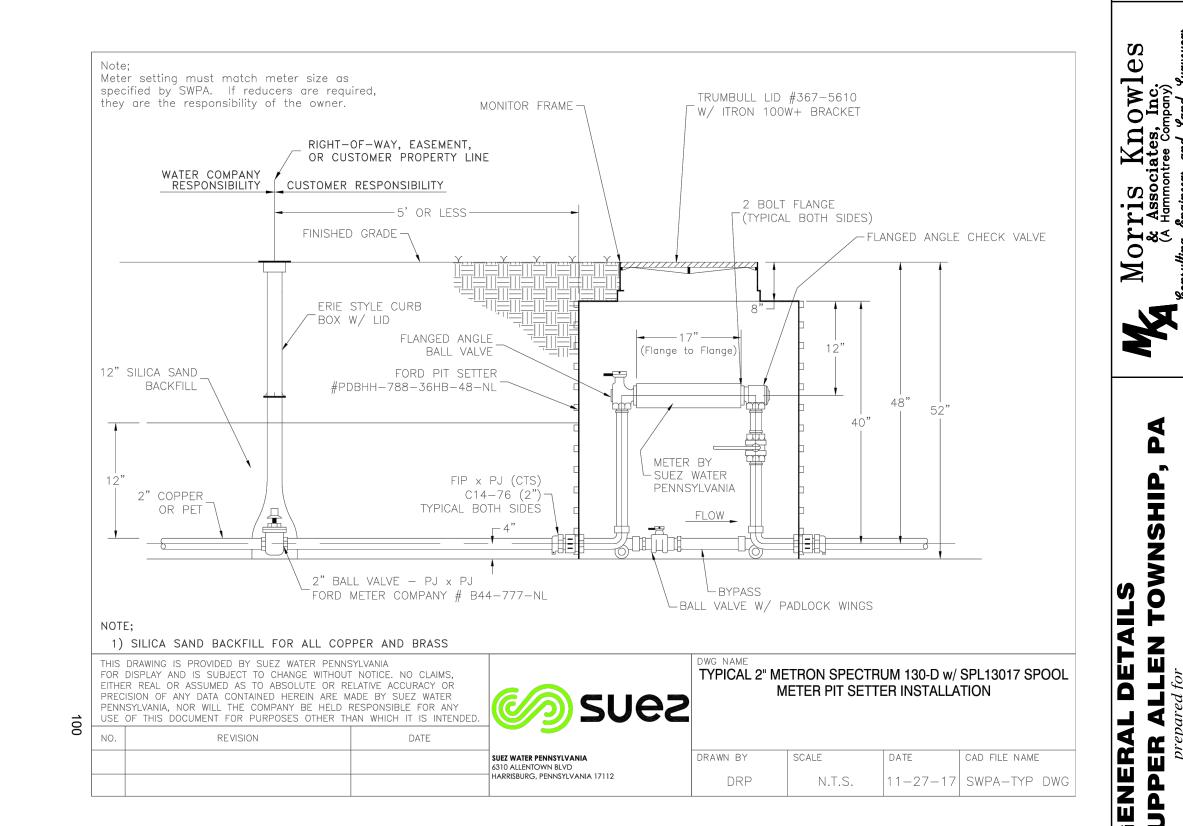
315 W. JAMES ST., SUITE 102 LANCASTER, PA . PHONE (717) 481-2991 . FAX (717) 481-8



UPPER ALLEN TOWNSHIP CONSTRUCTION & MATERIAL SPECIFICATIONS

PERMANENT TRENCH PAVING

PPER ALLEN TWP. CUMBERLAND COUNTY, PENNSYLVANIA



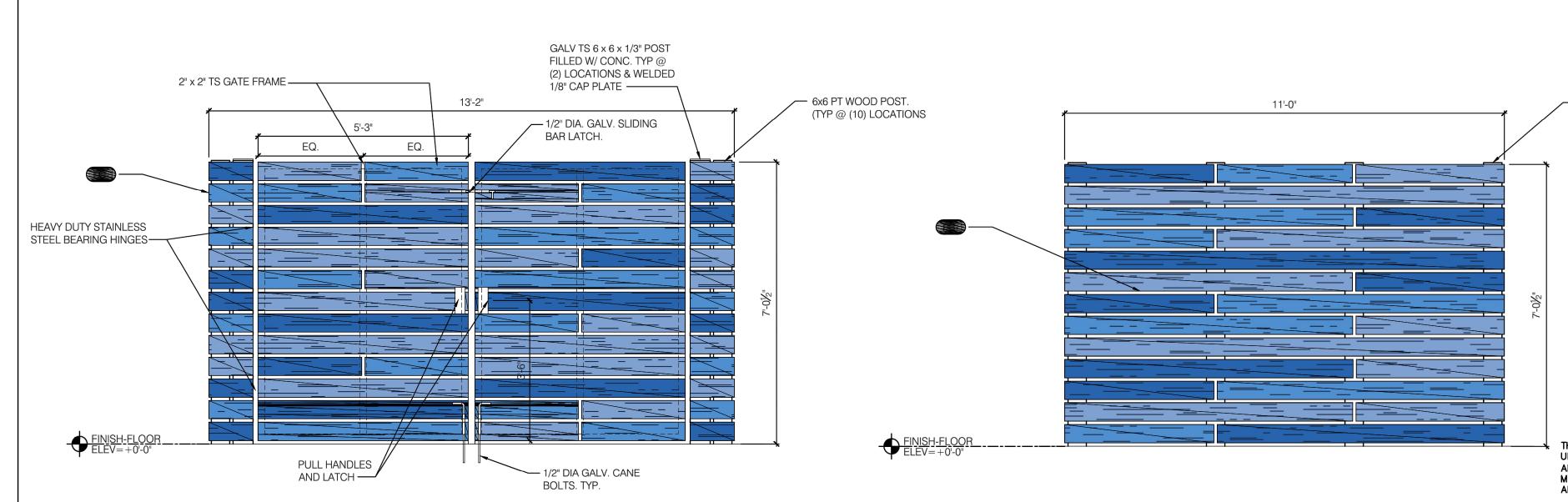
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DUMPSTER ENCLOSURE

SCALE: 1/2"=1'-0"

FRONT ELEVATION

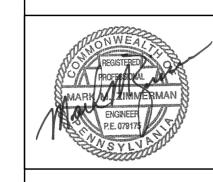
DUMPSTER ENCLOSURE

SIDE ELEVATION

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES.

THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES.

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SHEET NO. C601

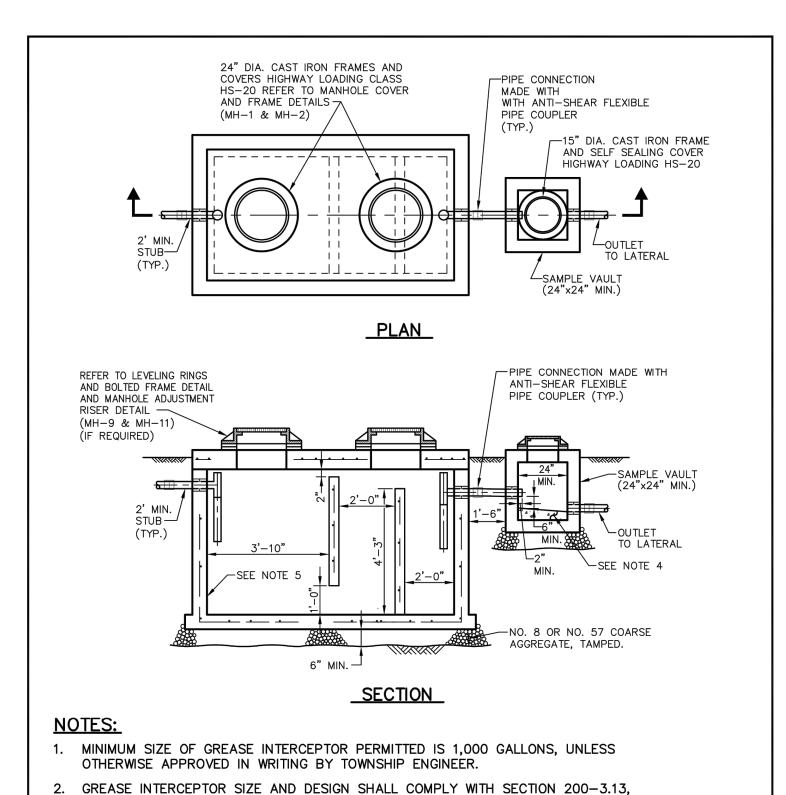
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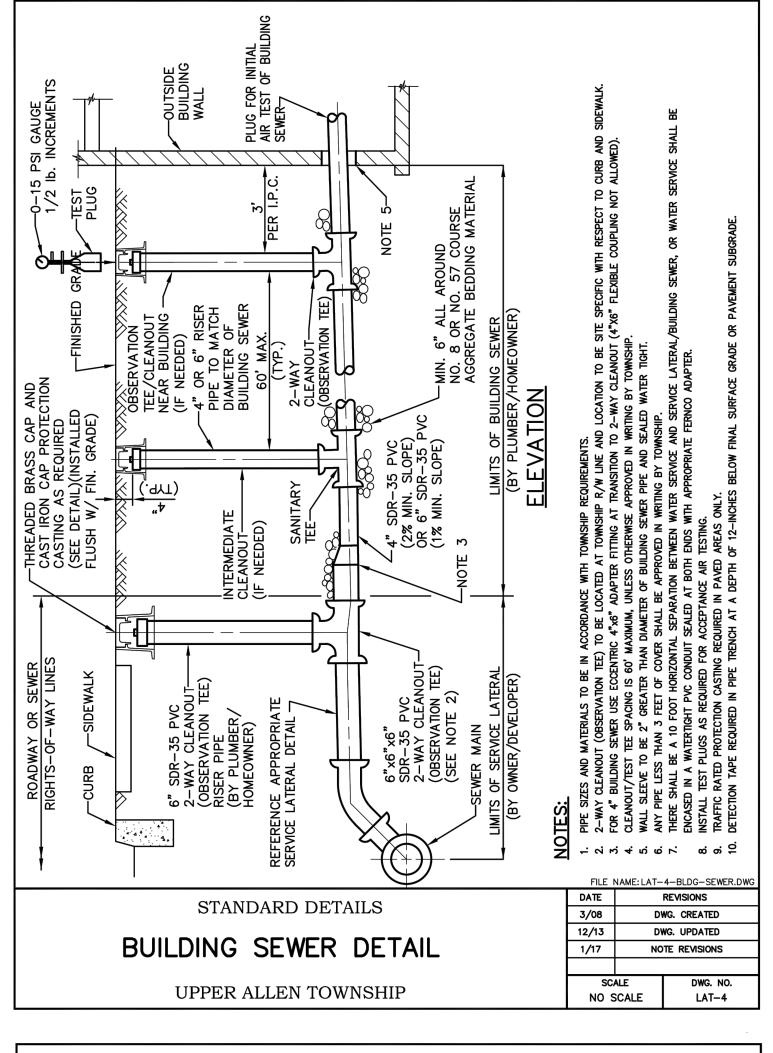
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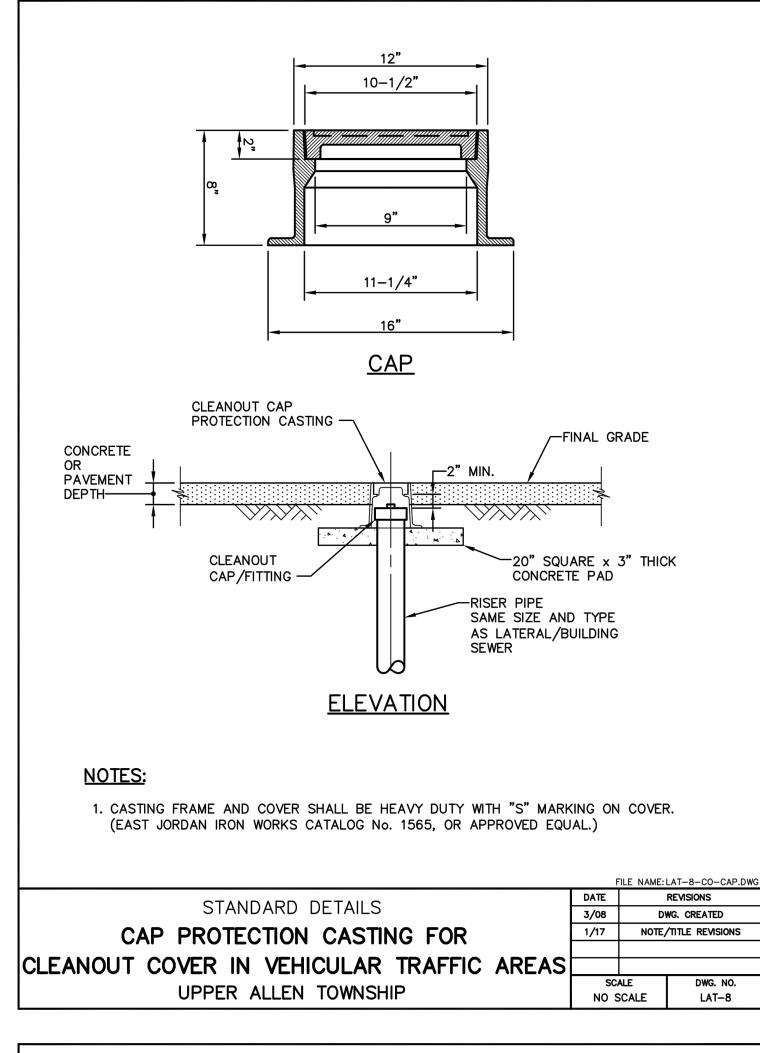
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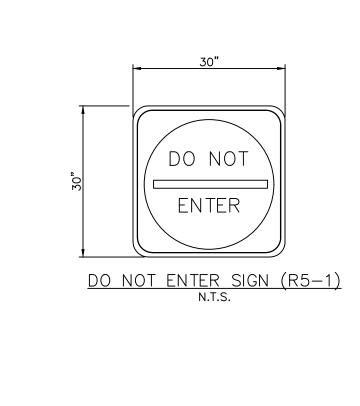
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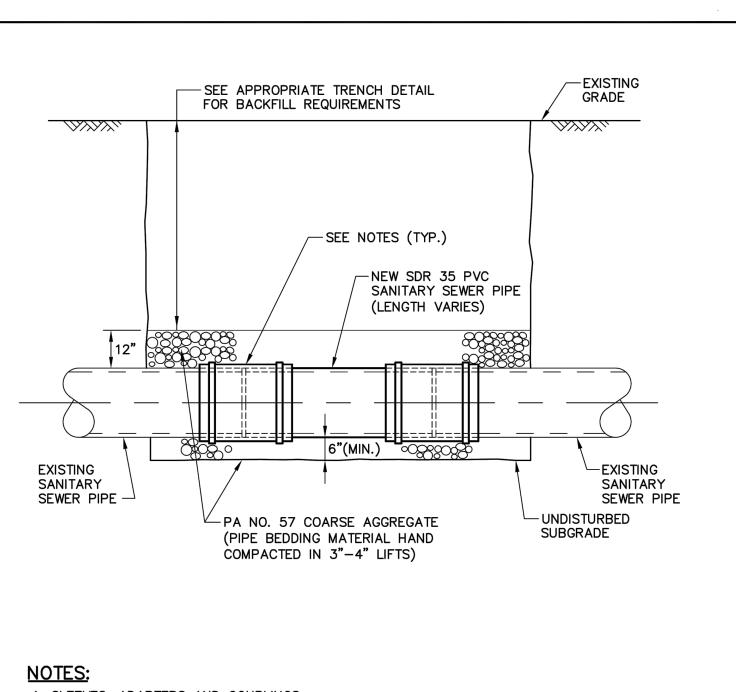
HT02575-2











1. SLEEVES, ADAPTERS AND COUPLINGS.

PARA. E, OF THE TOWNSHIP CODE.

ACCEPTABLE MANUFACTURERS: MONARCH PRODUCTS OR APPROVED EQUAL

PART 3.03, PARAGRAPH E OF THE STANDARD SPECIFICATIONS.

STANDARD DETAILS

TYPICAL GREASE INTERCEPTOR

AND SAMPLING VAULT

UPPER ALLEN TOWNSHIP

4. CONCRETE FOR SLOPE TO BE 3,000 PSI MIX DESIGN MEETING SECTION 2601,

5. COAT ALL INTERIOR CONCRETE SURFACES WITH 100% SOLIDS EPOXY RESIN SYSTEM.

DATE

11/08

11/14

NO SCALE

REVISIONS

DWG. CREATED

GENERAL REVISIONS

NOTE REVISIONS

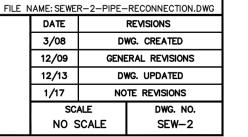
GR-1

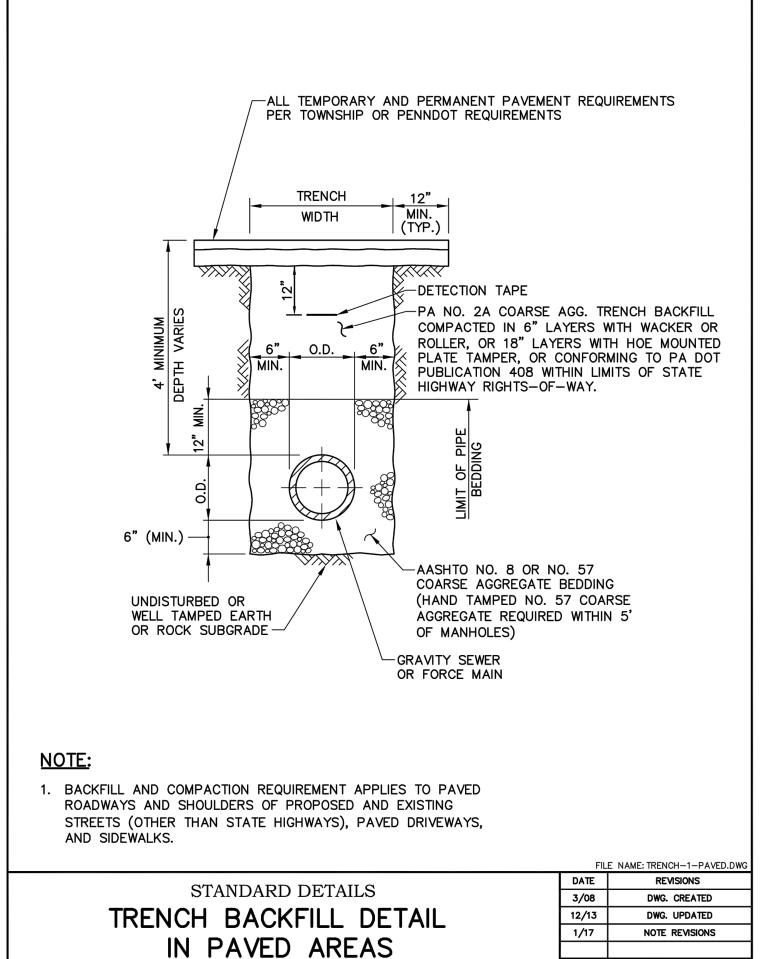
- A. PVC TO PVC CONNECTION USE; GASKETED PVC REPAIR SLEEVE. B. PVC TO TCP/VCP CONNECTION: USE FERNCO STAINLESS STEEL
- ANTI-SHEAR COLLAR RUBBER ADAPTER, OR APPROVED EQUAL. C. PVC TO DIP/CIP CONNECTION; USE MECHANICAL JOINT COUPLING D. PVC/DIP TO ACP CONNECTION; USE MECHANICAL JOINT COUPLING OR STAINLESS STEEL ANTI-SHEAR COLLAR RUBBER ADAPTER, AS APPROVED BY TOWNSHIP.
- E. DIP/CIP TO DIP/CIP CONNECTION; USE MECHANICAL JOINT COUPLING.
- 2. MECHANICAL JOINT COUPLINGS TO BE SMITH-BLAIR, DRESSER, OR APPROVED EQUAL.
- 3. RECONNECTIONS TO BE AIR TESTED IN ACCORDANCE WITH
- SPECIFICATIONS OR AS DIRECTED BY TOWNSHIP.

STANDARD DETAILS

PIPE REPAIR/RECONNECTION DETAIL

UPPER ALLEN TOWNSHIP





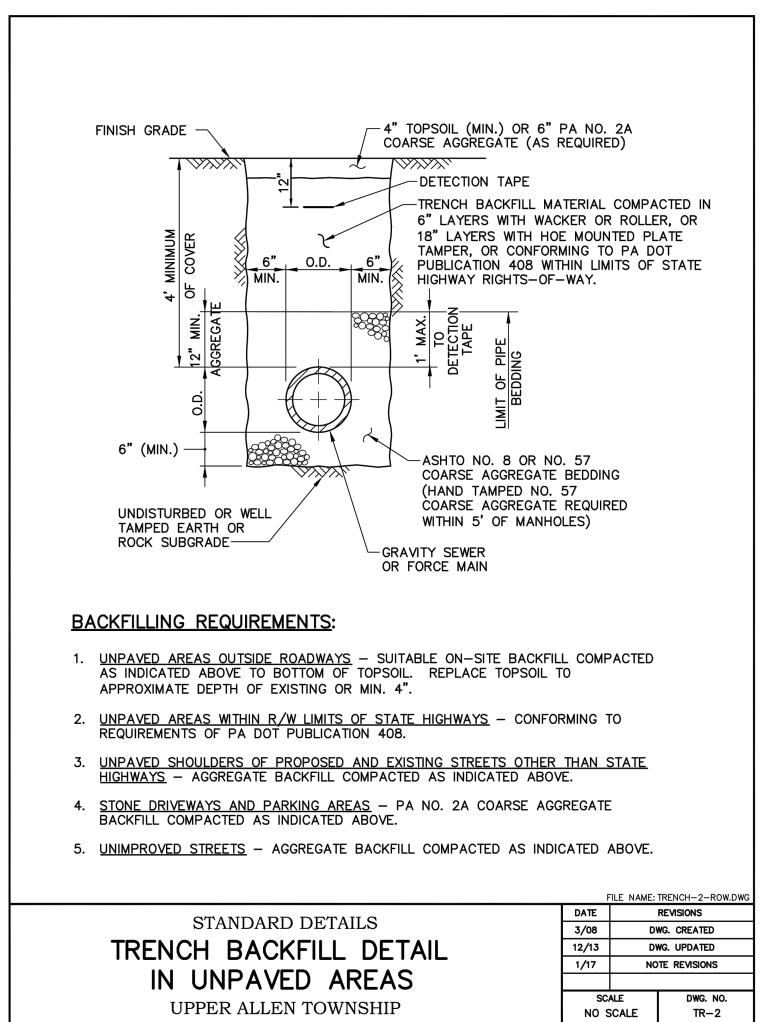
UPPER ALLEN TOWNSHIP

DWG. NO.

TR-1

SCALE

NO SCALE

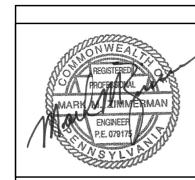


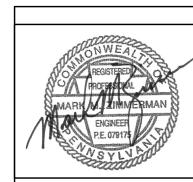
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PARTY WITHOUT PERMISSION AND CONSENT OF MORRIS KNOWLES & ASSOCIATES, INC.





SHEET NO. C602

DAY BAY

SCALE:

N/A

**\ \ **

CONSTRUCTION SEQUENCE:

EXCAVATE FOR AND FORM ENTRANCE.

3. INSTALL INLET PROTECTION.

STAGE 4: CLEAR SITE

STAGE 5: EXCAVATION

UTILITY TRENCH GUIDELINES.

D. INSTALL SIDEWALKS.

THE ENTIRE SITE HAS BEEN STABILIZED.

STAGE 7: INSTALL PROPOSED UTILITIES

STAGE 9: INSTALL LANDSCAPING

STAGE 10: SEED AND MULCH

STABILIZATION IS COMPLETE.

STAGE 11: SITE STABILIZATION

STAGE 8: INSTALL BUILDINGS AND PAVEMENT

A. INSTALL LANDSCAPING PLANTS AND PROVISIONS.

THE PERMANENT STABILIZATION SPECIFICATIONS.

. INSTALL PAVEMENT AT DRIVEWAYS AND PARKING LOT.

IMMEDIATELY STABILIZE ENTRANCE WITH ROCK.

STAGE 3: INSTALL COMPOST FILTER SOCK

BE CLEARED AND GRUBBED OR DISTURBED.

AND FINISH GRADE AREAS IN CUT OR FILL.

WATER FILTER BAGS PER THE DETAIL ON PLAN SHEET C702

STAGE 6: INSTALL PROPOSED STORM SEWER SYSTEM

G. FILL SLOPES SHALL BE STABILIZED IN 15 FOOT VERTICAL INCREMENTS.

A. INSTALL CONCRETE WASHOUT AS INDICATED ON PLAN SHEET C701.

BEFORE INITIATING SEED AND MULCHING OPERATIONS.

A. INSTALL COMPOST FILTER SOCK PER PLAN ON C701.

THE ENTIRE SITE CANNOT BE CLEARED AND GRUBBED AT ONE TIME. ONLY AREAS FOR WHICH

THE SPECIFIED EROSION AND SEDIMENTATION CONTROL HAS BEEN INSTALLED CAN BE CLEARED

STAGE 1: INSTALL ROCK CONSTRUCTION ENTRANCE AT KIM ACRES DRIVE

A. CLEAR SITE, CUT TRUNKS INTO TIMBER OR FIREWOOD AND CHIP BRANCHES ETC. LIMIT

ADVANCED CLEARING AND GRUBBING AS MUCH AS POSSIBLE TO REDUCE THE AMOUNT OF

AREA DISTURBED AT ANY ONE TIME. RECYCLING OF MATERIALS SHALL BE DONE WHERE

WHICH THE SPECIFIED EROSION AND SEDIMENTATION CONTROL HAS BEEN INSTALLED CAN

THE ENTIRE SITE CANNOT BE CLEARED AND GRUBBED AT ONE TIME. ONLY AREAS FOR

A. UPON COMPLETION OF THE ROCK CONSTRUCTION ENTRANCE AND INSTALLATION OF ALL

B. EXCAVATE SITE TO DESIGN GRADE. APPLY TEMPORARY STABILIZATION TO EMBANKMENTS

C. PLACE EROSION CONTROL BLANKET AS NOTED ON PLANS AFTER MATERIAL IS PLACED AND

PRIOR TO DISCHARGING TO A SURFACE WATER. CONTRACTOR SHALL UTILIZE PUMPED

. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA SHALL REACH FINAL GRADE

PERIMETER CONTROLS, THE CONTRACTOR SHALL BEGIN EARTHMOVING ACTIVITIES.

D. ALL WATER PUMPED FROM WORK AREAS SHALL BE TREATED FOR SEDIMENT REMOVA

. AS SOON AS DISTURBED AREA REACHES FINAL GRADE, AREAS MUST BE STABILIZED.

A. INSTALL STORM SEWER SYSTEM FROM LOWEST TO HIGHEST ELEVATION AND ADHERE TO

B. INSTALL INLET PROTECTION ON ALL INLETS TRIBUTARY TO INFILTRATION SYSTEMS UNTIL

A. SEED/MULCH ALL DISTURBED AREAS WITH SPECIFIED SEEDING MIXTURE. ALL E & S

CONTROL FACILITIES SHALL BE MAINTAINED AND KEPT FUNCTIONAL UNTIL SITE

A. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF

FINISHED GRADE. WHICH WILL BE REACTIVATED WITHIN 1 YEAR. MAY BE STABILIZED IN

ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH

WILL NOT BE REACTIVATED WITHIN 1 YEAR, SHALL BE STABILIZED IN ACCORDANCE WITH

THE PROJECT, THE OPERATOR SHALL STABILIZE DISTURBED AREAS. AREAS NOT AS

B. WHEN SEDIMENT TRAP AREA IS STABILIZED WITH UNIFORM 70% PERENNIAL VEGETATIVE

COVER OVER PROJECT AREA, REMOVE EROSION AND SEDIMENTATION CONTROLS.

A. INSTALL UTILITIES FROM LOWEST TO HIGHEST ELEVATION AND ADHERE TO UTILITY TRENCH

A. CLEAR MINIMUM AREA NECESSARY FOR ENTRANCE INSTALLATION.

STAGE 2: INSTALL INLET PROTECTION ON STORM SEWER INLETS

A. CLEAN INLETS TO ENSURE PROPER STORMWATER FLOW THROUGH INLETS.

SCALE: 1"=2000' USGS QUADRANGLE MAP LEMOYNE, PA

TITLE

C700 EROSION & SEDIMENTATION CONTROL TITLE SHEET EROSION & SEDIMENTATION CONTROL PLAN C701 C702 **EROSION & SEDIMENTATION CONTROL DETAILS**

HUTTON MECHANICSBURG PA ST, LLC 746 CHERRY STREET CHATTANOOGA, TN 37402 PHONE NO.: 404-805-0797 REP.: ALEJANDRO QUINTANA

CHAPTER 93 RECEIVING WATER COURSE:

1. THE RECEIVING WATER COURSE IS UNNAMED TRIBUTARY TO YELLOW BREECHES CREEK WHICH IS DESIGNATED AS A COLD WATER FISHERY (CWF), BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 93.

EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED. SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE

CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS. THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER. THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN. AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE

PRECONSTRUCTION MEETING. 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED. THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE

SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.

DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE

CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS

CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSÉD AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H: 1V OR FLATTER.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT. 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND

RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE

LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY

FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.

14. VEHICLES AND EQUIPMENT MAY ENTER DIRECTLY ONTO KIM ACRES DRIVE 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION. INSPECTIONS SHALL BE LOGGED ON THE MOST CURRENT DEP FORM 3150-FM-BWEW0083 AND KEPT ON SITE AT ALL TIMES.

17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED OF IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR

TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM 2 INCHES OF 20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT

BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES

22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT

CONSTRUCTION OF SATISFACTORY FILLS. 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN

ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS

27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF A PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATEING MONTHS. MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS. 29. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM

APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT. 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL

ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP

CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL CONVERSION OF THE E&S BMPS.

31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID

REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL

CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. 33. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

34. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR

GROUNDWATER SYSTEMS 35. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.

36. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATEL' BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS

OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING. 38. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN-TRAP OUTLET

37. CHANNELS HAVING RIPRAP, RENO MATTRESS, OR GABION LININGS MUST BE SUFFICIENTLY

STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. 39. SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES. 40. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.

41. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, OCAL CONSERVATION DISTRICT OR THE DEPARTMENT.

42. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

43. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. 44. NO WETLANDS EXIST WITHIN THE PROJECT BOUNDARY

45. MINE OPENINGS ARE NOT ANTICIPATED. IF MINE SPOILS ARE ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL EITHER REWORK THE MATERIAL PER GEOTECHNICAL ENGINEERS RECOMMENDATIONS OR REMOVE THE MATERIAL TO A

PERMITTED AREA. 46. NO SIGNIFICANT CULTURAL OR SENSITIVE ENVIRONEMENTAL FEATURES EXIST WITHIN THE PROJECT BOUNDARY. NO FURTHER ENVIRONMENTAL STUDIES WILL BE 47. NO WATER RESOURCES EXIST WITHIN THE PROJECT BOUNDARY

EROSION AND SEDIMENT CONTROL FACILITIES MAINTENANCE SCHEDULE

1. ALL EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED.

ROCK CONSTRUCTION ENTRANCE

1. THE ROCK CONSTRUCTION ENTRANCES ARE TO BE INSPECTED AT THE END OF EACH WORKING DAY AND REPAIRED IMMEDIATELY. 2. THE THICKNESS OF THE ROCK CONSTRUCTION ENTRANCE SHALL BE CONSTANTLY

3. A ROCK STOCKPILE IS TO BE READILY AVAILABLE ON THE SITE AT ALL TIMES FOR IMMEDIATE REPAIR.

COMPOST FILTER SOCK

MODWASH-UPPER ALLEN TOWNSHIP

EROSION AND SEDIMENTATION CONTROL PLAN

UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

NOVEMBER 2021

1. THE COMPOST FILTER SOCK CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EACH STORM (RUNOFF) EVENT AND REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN DEPOSITS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK. 3. SILT DEPOSITS SHALL BE TAKEN TO THE TOPSOIL STOCKPILE AREA. THE SILT SHALL

THEN BE SPREAD OVER STOCKPILE, SEEDED AND MULCHED. 4. ALL UNDERCUTTING OR EROSION OF THE COMPOST FILTER SOCK TOE ANCHOR SHALL BE REPAIRED IMMEDIATELY.

5. ANY COMPOST FILTER SOCK SECTION WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

1. THE CONTRACTOR SHALL INSPECT VEGETATED AREAS WEEKLY AND AFTER EACH

2. THE CONTRACTOR SHALL INSPECT THE SITE FOR RILLS OR GULLIES ON CUT OR FILL SLOPES. THE CONTRACTOR SHALL FILL RILLS AND GULLIES, REGRADE DISTURBED AREAS TO PROVIDE A UNIFORM SLOPE, THEN RESEED/MULCH AND REPAIR/REPLACE

MATS TO ORIGINAL SPECIFICATIONS. 3. THE REPAIRS SHALL BE MADE WITHIN 2 DAYS OF DISCOVERING PROBLEM.

PUMPED WATER FILTERING DEVICE

THE CONTRACTOR SHALL INSPECT FILTER BAGS DAILY AND AFTER EACH STORM (RUNOFF) EVENT TO ENSURE THEY ARE WORKING PROPERLY. 2. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT

RESUME UNTIL THE PROBLEM IS CORRECTED. 3. ALL SEDIMENT REMOVED FROM THE FILTER BAGS SHALL BE TAKEN TO THE TOPSOIL STOCKPILE, SPREAD, SEEDED AND MULCHED.

PERMANENT-STEEP SLOPE

SEEDING DATES: APRIL-SEPT.

SPECIES: BIRDSFOOT TREFOIL AND TALL FESCUE MIX % PURE LIVE SEED: 99% APPLICATION RATE: 10 AND 50 LBS/ACRE. RESPECTIVELY FERTILIZER TYPE: COMMERCIAL FERTILIZER 5-10-10 FERTILIZER APPL. RATE: (PER TESTING) 30 LBS/ACRE LIMING RATE: 1 TONS/ACRE MULCH TYPE: HAY & STRAW MULCHING RATE: 3 TONS/ACRE ANCHORING MATERIAL: NONASPHALTIC MATERIAL ANCHORING METHOD: SPRAY RATE OF ANCHORING MATERIAL APPL.: 1000 GAL/SQ.YD.

1. THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED IN THE SITE NO MORE THAN TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION (PA

ACT 287 OF 1974 AMENDED BY ACT 121 OF 2008). TRAFFIC SHALL BE MAINTAINED ON ALL ADJOINING STREETS AND DRIVES AT ALL TIMES.

TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH PENNDOT'S REQUIREMENTS. CONTRACTOR SHALL USE ASPHALT WEDGE CURBS, UNLESS NOTED, OUTSIDE OF THE PUBLIC

CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATION OF ALL EXISTING UTILITIES

WITH PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION AND GRADING OF THE SITE. THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.

GRADING NOTES:

THE CONTRACTOR SHALL REMOVE ALL EXISTING ASPHALT PAVEMENT AND CONCRETE SLABS

THE CONTRACTOR SHALL PROOF ROLL THE SITE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND REMOVE ANY SOFT MATERIAL PRIOR TO THE IMPORTING OF ANY FILL MATERIAL.

THE CONTRACTOR SHALL REPLACE ALL CURB SECTIONS, SIDEWALKS, AND PAVEMENT, WHICH HAS BEEN CUT AND DISTURBED WITHIN THE RIGHT-OF-WAY WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION'S STANDARD MATERIALS.

THE CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVES. THE CONTRACTOR SHALL COMPACT ALL FILL MATERIALS OUTSIDE OF PROPOSED BUILDING AREAS, PLACED IN LIFTS, AND COMPACTED TO 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR) OR 95% BY ASTM-D698 (STANDARD PROCTOR). PLACE FILL IN EIGHT-INCH LIFTS AND COMPACT WITH AN IMPACT-TYPE ROLLER (I.E. SHEEPSFOOT ROLLER). PROVIDE FOR INSPECTION OF ALL FILL AS IT IS PLACED FOR PROPER DENSITY BY A

GEOTECHNICAL TESTING FIRM. THE CONTRACTOR SHALL COMPACT ALL FILL MATERIALS WITHIN PROPOSED BUILDING AREAS, PLACED IN LIFTS, AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR) OR 100% BY ASTM-D698 (STANDARD PROCTOR). PLACE FILL IN EIGHT-INCH LIFTS AND COMPACT WITH AN IMPACT-TYPE ROLLER (I.E. SHEEPSFOOT ROLLER). PROVIDE FOR INSPECTION OF ALL FILL AS IT IS PLACED FOR PROPER DENSITY BY A GEOTECHNICAL TESTING FIRM.

ALL CUT AND FILL OPERATIONS SHALL FOLLOW THE "PENNSYLVANIA HANDBOOK OF BEST MANAGEMENT PRACTICES FOR DEVELOPING AREAS."

THE CONTRACTOR SHALL USE PENNDOT'S LATEST REFERENCES OF PUBLICATION 408/2000 AND ROADWAY CONSTRUCTION STANDARDS.

SITE STABILIZATION INSTALLATION AND MAINTENANCE (TEMPORARY AND PERMANENT)

1. TILL SOIL TO DEPTH OF 2". REMOVE ALL OBJECTS 2" OR LARGER.

2. BLEND COMMERCIAL FERTILIZER INTO THE SOIL TO A DEPTH OF 2". FERTILIZER

MAY BE BLENDED DURING TILLING. 3. SOW REQUIRED SEED MIXTURE UNIFORMLY ON THE PREPARED AREA BY HYDRAULIC

SEEDING EQUIPMENT, HAND SEEDING. OR ANY OTHER APPROPRIATE METHOD. AFTER SEEDING ROLL TOPSOILED AREAS THAT ARE TO BE MOWED. USE A ROLLER

WEIGHING NOT MORE THAN 65 LBS./FT. WIDTH. FOR PERMANENT SITE STABILIZATION APPLY SLOW RELEASE NITROGEN FERTILIZER TO THE SURFACE OF SEEDED AREAS.

6. PLACE MULCH IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETED. PLACE HAY & STRAW UNIFORMLY, IN A CONTINUOUS BLANKET AT THE MINIMUM RATE SPECIFIED ABOVE. AN ACCEPTABLE MECHANICAL BLOWER MAY B USED TO APPLY MULCH. MACHINES WHICH CUT MULCH INTO SHORT PIECES WILL

NOT BE PERMITTED. MAINTENANCE - SATISFACTORILY MAINTAIN GRASS AREAS WITHIN GRADING LIMITS, UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. MOW, AS INDICATED AND WHEN DIRECTED. CONTROL PROHIBITED AND NOXIOUS WEED GROWTH BY HERBICIDE SPRAYING OR CUTTING. AFTER THE SEEDING AND SOIL SUPPLEMENT WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF A SLOPE FAILURE OCCURS, ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR ESTABLISHMENT OF A NEW

SLOPE, REAPPLY SOIL SUPPLEMENTS, THEN RESEED, AS SPECIFIED FOR THE ORIGINAL TREATMENT. 9. A SITE WILL BE CONSIDERED TO BE PERMANENTLY STABILIZED WHEN ALL PERMANENT CONTROL MEASURES AND FACILITIES HAVE BEEN COMPLETED AND ARE OPERATIONAL, TEMPORARY CONTROL MEASURES AND FACILITIES REMOVED, AND UNIFORM 70% PERENNIAL VEGETATION COVER IS ESTABLISHED TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING RUNOFF EVENTS. THE STANDARD FOR THIS VEGETATIVE COVER WILL BE A UNIFORM COVERAGE OR

DENSITY OF 70% ACROSS THE DISTURBED AREA. 10. THE CONTRACTOR SHALL MAINTAIN THE SITE PER THE PROVISIONS OF THIS PLAN UNTIL PERMANENT STABILIZATION IS ESTABLISHED.

TEMPORARY STABILIZATION

SPECIES: ANNUAL RYEGRASS % PURE LIVE SEED: 98% APPLICATION RATE: 50 LBS/ACRE FERTILIZER TYPE: COMMERCIAL FERTILIZER 10-20-20 FERTILIZER APPL. RATE: 678 LBS/ACRE LIMING RATE: 2 TONS/ACRE MULCH TYPE: HAY & STRAW MULCHING RATE: 3 TONS/ACRE

PERMANENT STABILIZATION

 POA PRATENSIS (KENTUCKY BLUEGRASS) 90% PURE LIVE SEED, APPLICATION RATE 50LBS/AC

• FESTUCA RUBRA VAR. 'PENNLAWN" (PENNLAWN RED FESCUE)

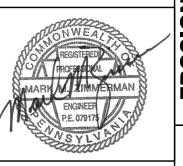
98% PURE LIVE SEED, APPLICATION RATE 30LBS/AC LOLIUM PERENNE (PERENNIAL RYEGRASS) 98% PURE LIVE SEED, APPLICATION RATE 20LBS/AC

FERTILIZER: COMMERCIAL FERTILIZER, 10-20-20, 1,000 LBS./ACRE LIMING: 4,000 LBS./ACRE MULCH: WHEAT OR OAT STRAW WELL CURED TO LESS THAN 20% MOISTURE BY WEIGHT, 5,800 POUNDS PER ACRE

SPRING - MARCH TO MAY 30. SEEDING DATES: FALL - SEPTEMBER 1 TO OCTOBER 15

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES. THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXERCISE C

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SHEET NO.

WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT WRITTEN CONSENT OF ENGINEER. ALL UTILITIES SHOWN ON PLANS ARE IN APPROXIMATE LOCATIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO GAIN EXACT LOCATIONS AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.

NOTES:
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY

CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT

IS GIVEN BY ENGINEER. CONTRACTOR AND/OR OWNER

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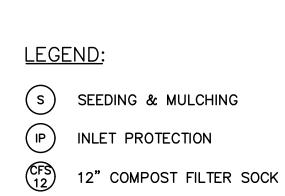
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SEEDING & MULCHING INLET PROTECTION

ROCK CONSTRUCTION ENTRANCE

CONCRETE WASHOUT

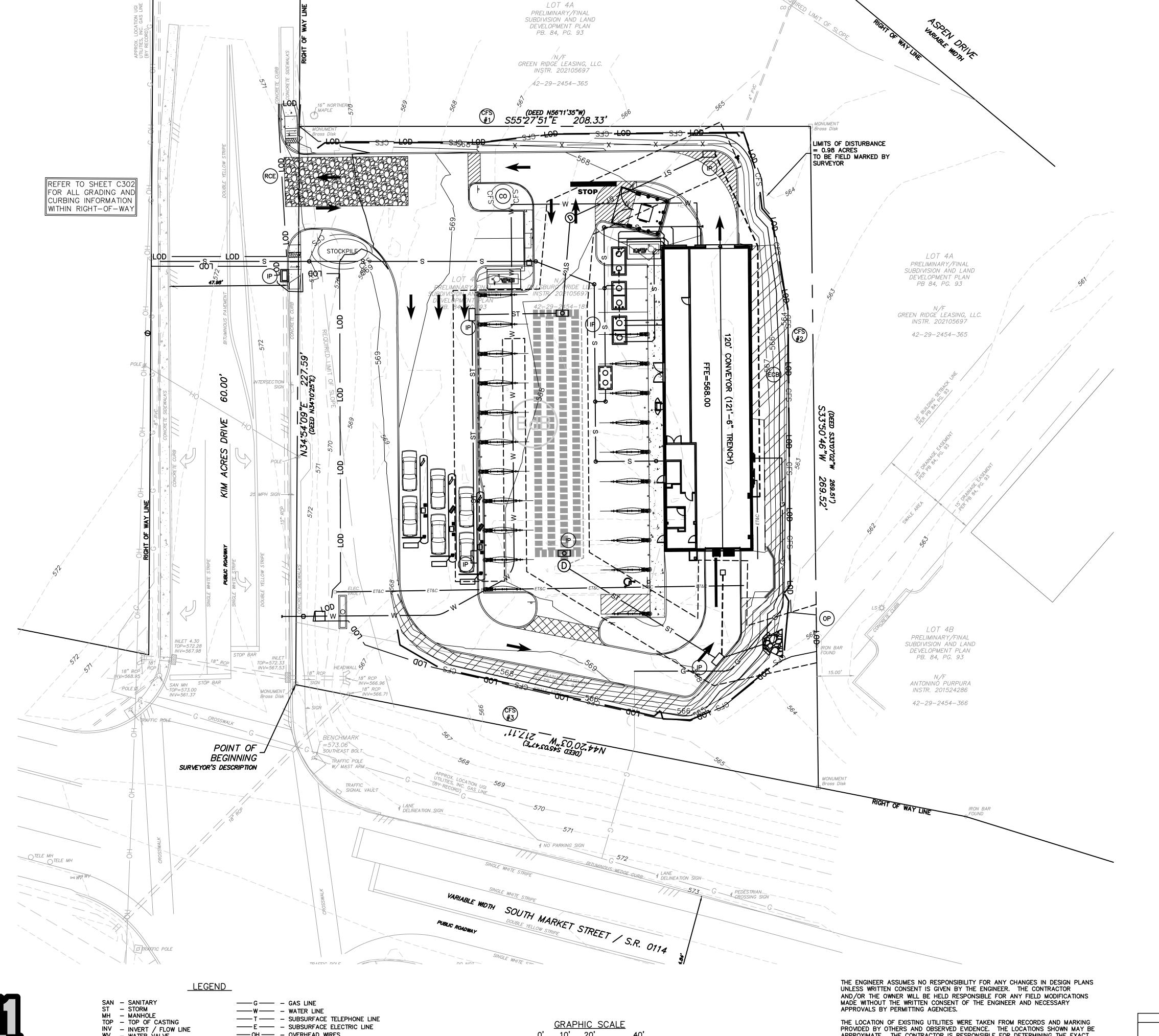
EROSION CONTROL BLANKET

OUTLET PROTECTION

SOIL MAP UNIT LEGEND						
MAP UNIT SYMBOL	MAP UNIT NAME					
BdB	BEDINGTON SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES					

CONSTRUCTION NOTE:

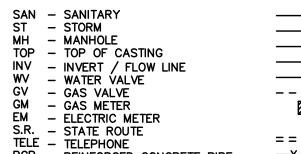
ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION & MATERIALS SPECIFICATIONS



CALL BEFORE YOU DIG IN PENNSYLVANIA 1-800-242-1776 DESIGN SN: 20211762062

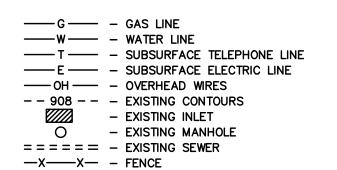
THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED IN THE SITE NO MORE TEN DAYS AND NO LESS THAN THREE DAYS IN ADVANCE OF EXCAVATION Know what's below (PA ACT 287 OF 1974 AMENDED BY ACT 50 OF 2018). PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

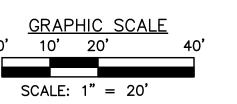




RCP - REINFORCED CONCRETE PIPE

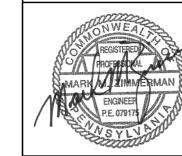
CPP - CORRUGATED PLASTIC PIPE





THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES.

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SHEET NO. C701

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1"=20'

SCALE:

Morris & Assoc (A Hammo

SECTION VIEW **EXISTING CONTOURS-**DISTURBED 2"X2" WOODEN STAKES FILTER SOCK UNDISTURBED PLACED 10' O.C. **PLAN VIEW**

NOTES:

Sock fabric shall meet standards of Table 4.1. Compost shall meet the standards of Table 4.2.

Compost filter sock shall be placed at existing level grade. Both ends of the sock shall be extended at least 8 feet up slope at 45 degrees to the main sock alignment (Figure 4.1). Maximum slope length above any sock shall not exceed that shown on Figure 4.2. Stakes may be installed immediately downslope of the sock if so specified by the manufacturer.

Traffic shall not be permitted to cross filter socks.

Accumulated sediment shall be removed when it reaches half the aboveground height of the sock and disposed in the manner described elsewhere in the plan.

Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection.

Biodegradable filter socks shall be replaced after 6 months: photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations. Upon stabilization of the area tributary to the sock, stakes shall be removed. The sock may be

left in place and vegetated or removed. In the latter case, the mesh shall be cut open and the

mulch spread as a soil supplement. STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

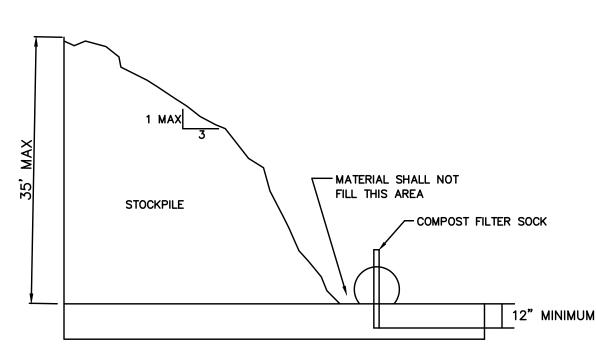
	I E MII LINDE I	E MII LIDDE	A ALLE TE CH A MACNET	HEAVY DUTY
3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE
12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
3"	3" 8	3" 8	3" 8	1" 8
	26 PSI	26 PSI	44 PSI	202 PSI
23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
	PHOTO— DEGRADABLE 12" 18" 3" 23% AT 1000 HR	PHOTO— DEGRADABLE 12" 18" 18" 24" 32" 3" 8" 26 PSI 23% AT 1000 HR PHOTO— DEGRADABLE 12" 18" 24" 32" 24" 32" 1000 HR	PHOTO— DEGRADABLE DEGRADABLE 12" 12" 12" 12" 18" 18" 24" 32" 32" 3" 3" 8" 8" 8" 26 PSI 26 PSI 23% AT 1000 HR PHOTO— DEGRADABLE BIO— DEGRADABLE 12" 12" 12" 18" 24" 32" 32" 24" 32" 32" 26 PSI 26 PSI	PHOTO— DEGRADABLE PHOTO— DEGRADABLE DEGRADABLE 12" 12" 12" 12" 12" 12" 18" 18" 18" 24" 24" 32" 32" 32" 32" 3" 3" 3" 3" 3" 3" 3" 3" 3" 3" 3" 3" 3" 3

INNER CONTAINMENT NETTING SION-WELDED JUNCTURES 'X ₹" MAX. APERTURE SIZE OUTER FILTRATION MESH COOMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH) 용" MAX. APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS. FILTREXX & JMD

COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)		
ORGANIC PORTION	FIBROUS AND ELONGATED		
рН	5.5 - 8.5		
MOISTURE CONTENT	30% - 60%		
PARTICLE SIZE	30% - 50% PASS THROUGH ₹ SIEVE		
SOLUBLE SALT CONCENTRATION	5.0 dS/m (MMHOS/CM) MAXIMUM		



SOIL STOCKPILE DETAIL N.T.S.

THICK. LENGTH WIDTH WIDTH Aiw Atw (FT)

WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

└GEOTEXTILE

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP

> STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL N.T.S.

SECTION Y-Y 0020000000 -GEOTEXTILE SECTION Z-Z

PLAN VIEW

0% SLOPE

INSTALL BEGINNING OF ROLL BLANKET EDGES IN 6"x6" ANCHOR TRENCH, OVERLAPPED 4" (MIN.) STAPLE, BACKFILL AND AND STAPLED COMPACT SOIL STARTING AT TOP OF SLOPE, ROLL BLANKETS IN DIRECTION OF WATER FLOW 122212112423336 PREPARE SEED BED (INCLUDING APPLICATION OF LIME, FERTILIZER, & SEED) PRIOR TO INSTALLATION OF BLANKET REFER TO MANUFACTURER'S RECOMMENDED STAPLING PATTERN FOR STEEPNESS AND LENGTH OF

OVERLAP BLANKET ENDS 6" (MIN.) THE BLANKET SHOULD NOT BE STRETCHED; WITH THE UPSLOPE BLANKET IT MUST MAINTAIN OVERLYING THE DOWNSLOPE BLANKET GOOD SOIL CONTACT (SHINGLE STYLE), STAPLE SECURELY

Seed and soil amendments shall be applied according to the rates in the plan drawings prior to

SLOPE BEING BLANKETED

Provide anchor trench at toe of slope in similar fashion as at top of slope.

Slope surface shall be free of rocks, clods, sticks, and grass.

Blanket shall have good continuous contact with underlying soil throughout entire length. Lay blanket loosely and stake or staple to maintain direct contact with soil. Do not stretch blanket.

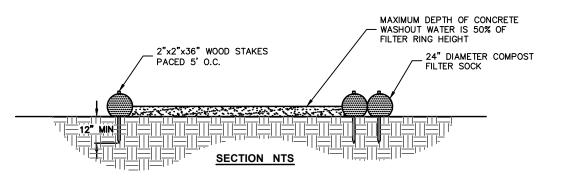
Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation

The blanket shall be stapled in accordance with the manufacturer's recommendations.

is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be restored or replaced within 4 calendar days.

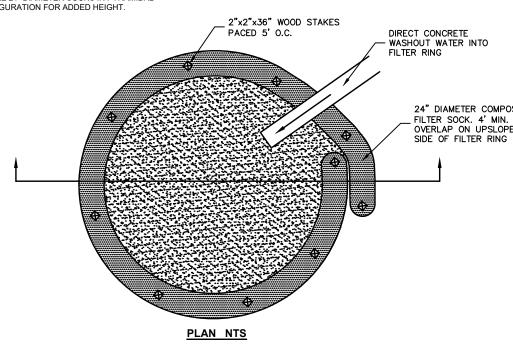
STANDARD CONSTRUCTION DETAIL #11-1 **EROSION CONTROL BLANKET INSTALLATION**

FIGURE 3.18 TYPICAL COMPOST SOCK WASHOUT INSTALLATION



NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL



A SUITABLE IMPERIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS. ADAPTED FROM FILTREXX

A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.

B. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS. C. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. D. TRENCH PLUGS WILL BE SPACED IN ACCORDANCE WITH THE TABLE BELOW:

THE BELOW.							
TRENCH SLOPE %	LENGTH (FEET)	PLUG MATERIAL					
0 - 5		NONE					
5 - 15	500	EARTH FILLED SACKS					
15 – 25	300	EARTH FILLED SACKS					
25 – 35	200	EARTH FILLED SACKS					
35 - 100	100	EARTH FILLED SACKS					
OVER 100	50	CEMENT FILLED BAGS (WETTED)					

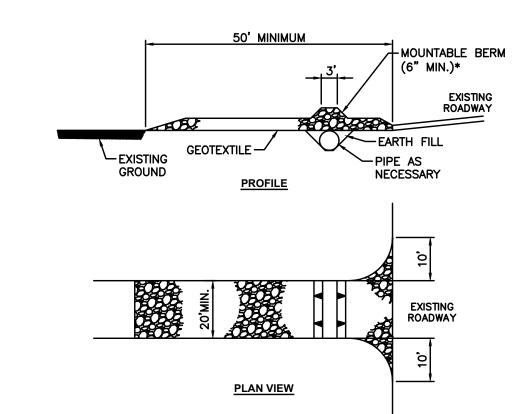
E. WATER WHICH ACCUMULATES IN AN OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING ACCORDING TO LOCAL CONSERVATION DISTRICT REGULATIONS PRIOR TO PIPE PLACEMENT OR BACKFILLING.

WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:

1. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS.

2. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS FOR UTILITIES THAT REQUIRE TESTING BEFORE THE TRENCH IS BACKFILLED, ALL OF THE ABOVE ITEMS APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO DAYS.

UTILITY TRENCH EXCAVATING GUIDELINES



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

Remove topsoil prior to installation of rock construction entrance. Extend rock over full width

Runoff shall be diverted from roadway to a suitable sediment removal bmp prior to entering

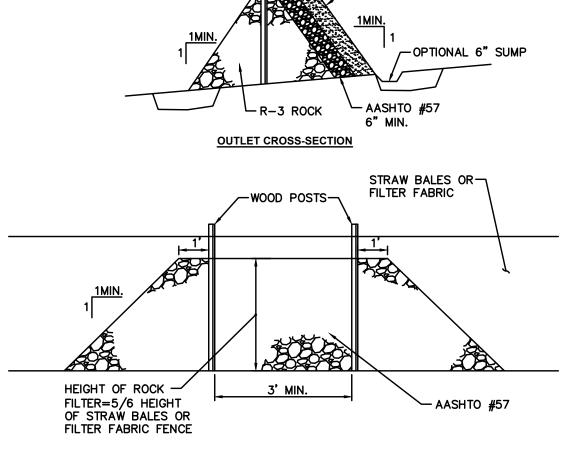
Mountable berm shall be installed wherever optional culvert pipe is used and proper pipe cover as specified manufacturer is not otherwise provided. Pipe shall be sized appropriately for size of ditch being crossed.

MAINTENANCE: Rock Construction Entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extent length of rock construction entrance by 50 foot increments until condition is alleviated or install wash rack. Washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is

OPTIONAL 6" COMPOST

LAYER FIRMLY ANCHORED

STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE N.T.S.

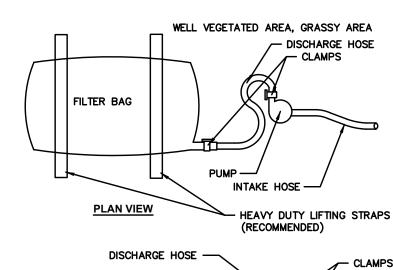


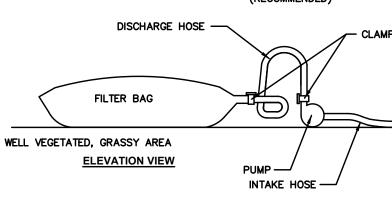
UP-SLOPE FACE

NOTES: A rock filter outlet shall be installed where failure of a silt fence or straw bale barrier has occurred due to concentrated flow. Anchored compost layer shall be used on upslope face in HQ and EV watersheds.

Sediment shall be removed when accumulations reach 1/3 the height of the outlet.

STANDARD CONSTRUCTION DETAIL #4-6 ROCK FILTER OUTLET





Low volume filter bags shall be made from non-woven geotextile material sewn with high strength,double stitched "J" type seams. They shall be capable trapping particles larger than 150 microns. High volume filter

Property	Test Method	Minimum Standard
vg. wide width strenght	ASTM D-4884	60 lb/in
Grab tensile	ASTM D-4632	250 lb
Puncture	ASTM D-4833	110 lb
Mullen burst	ASTM D-3786	350 psi
UV resistance	ASTM D-4355	70%
AOS % retained	ASTM D-4751	80 sieve
	vg. wide width strenght Grab tensile Puncture Mullen burst UV resistance	wg. wide width strenght ASTM D-4884 Grab tensile ASTM D-4632 Puncture ASTM D-4833 Mullen burst ASTM D-3786 UV resistance ASTM D-4355

bags shall be made from woven geotextiles that meet the following standards:

A suitable means of accessing the bag with machinery required for disposal purposes shall be provided. Filter bags shall be replaced when they become 1/2 full of sediment. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be placed on straps to facilitate removal unless bags come with lifting straps already attached.

Bags shall be located in well-vegetated (grassy) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile underlayment and flow path shall be provided. Bags may be placed on filter stone to increase discharge capacity. Bags shall not be placed on slopes greater than 5%. For slopes exceeding 5%, clean rock or other non-erodible and non-polluting material may be placed under the bag to reduce slope steepness.

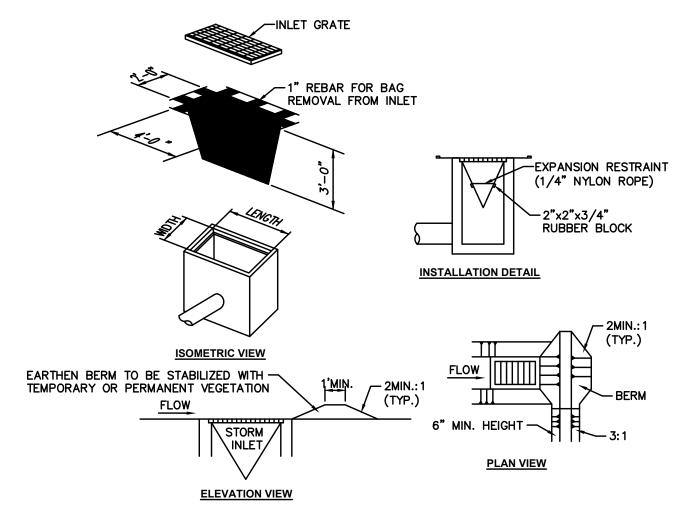
No downslope sediment barrier is required for most installations. Compost berm or compost filter sock shall be installed below bags located in HQ or EV watersheds, within 50 feet of any receiving surface water or where grassy area is not available.

The pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clamped. A piece of PVC pipe is recommended for this purpose.

The pumping rate shall be no greater than 750 gpm or 1/2 the maximum specified by the manufacturer, whichever is less. Pump intakes shall be floating and screened.

Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG N.T.S.



NOTES:

Maximum drainage area = 1/2 acre. Inlet protection shall not be required for inlet tributary to sediment basin or trap. Berms shall be required for all installations

Rolled earthen berm shall be maintained until roadway is stoned. Road subbase berm shall be maintained until roadway is paved. Earthen berm in channel shall be maintained until permanent stabilization is completed or remain permanently.

At a minimum, the fabric shall have a minimum grab tensile strength of 120 lbs, a minimum burst strength of 200 psi, and a minimum trapezoidal tear strength of 50 lbs. Filter bags shall be capable of trapping all particles not passing a No. 40 Sieve.

Inlet filter bags shall be inspected on a weekly basis and after each runoff event. Bags shall be emptied and rinsed or replaced when half full or when flow capacity has been reduced so as to cause flooding or bypassing of the inlet. Damaged or clogged bags shall be replaced. A supply shall be maintained on site for replacement of bags. All needed repairs shall be initiated immediately after the inspection. Dispose of accumulated sediment as well as all used bags according to the plan notes.

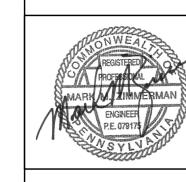
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES.

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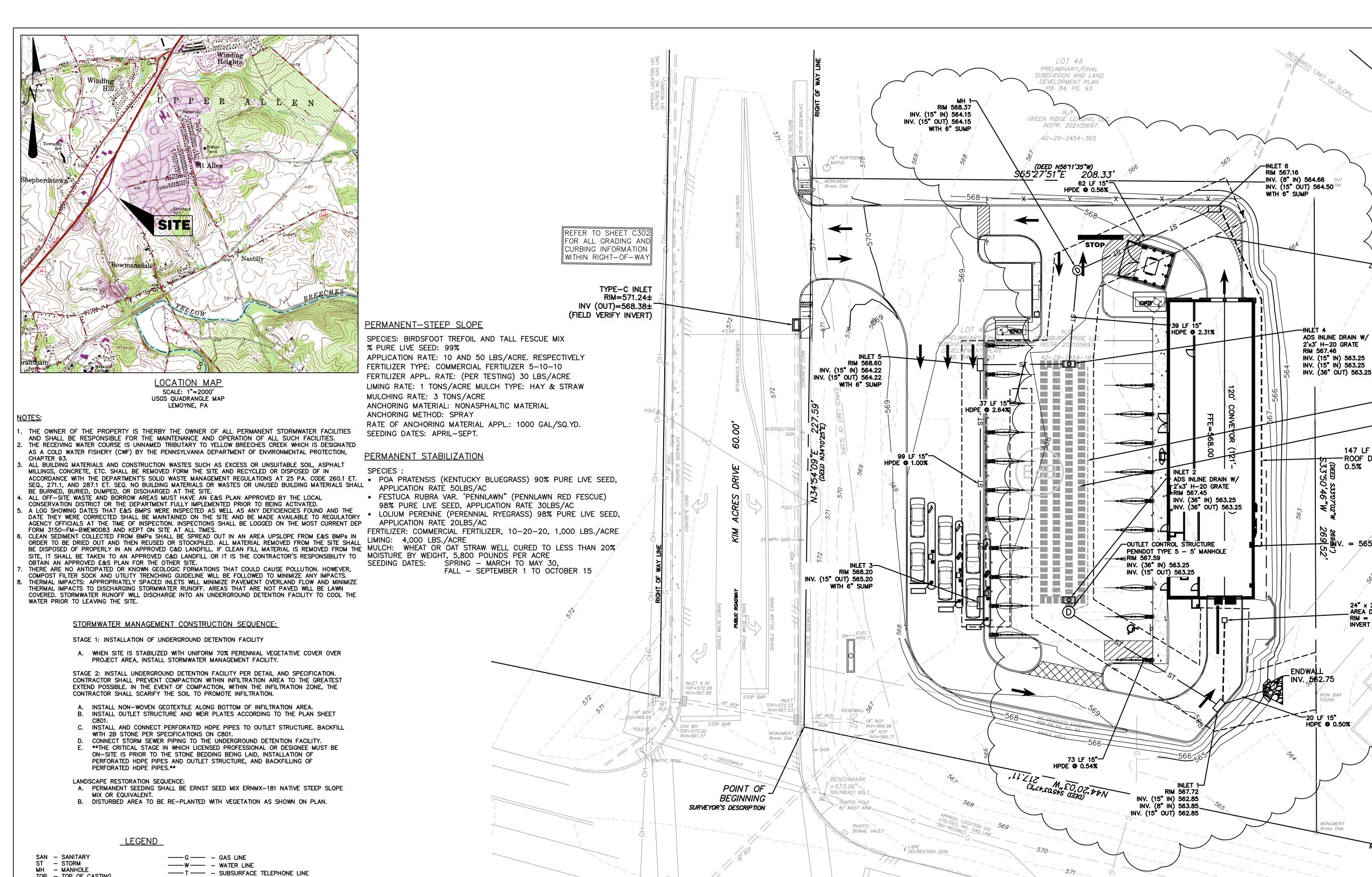
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TOP - TOP OF CASTING - INVERT / FLOW LINE WV - WATER VALVE

- GAS VALVE - GAS METER - ELECTRIC METER STATE ROUTE - TELEPHONE RCP - REINFORCED CONCRETE PIPE CPP - CORRUGATED PLASTIC PIPE

----E --- - SUBSURFACE ELECTRIC LINE -- 908 -- - EXISTING CONTOURS EXISTING INLET EXISTING MANHOLE = = = = = EXISTING SEWER —X——X— – FENCE

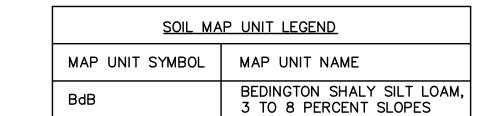
CONSTRUCTION NOTE:

MATERIALS SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION &

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SCALE: 1" = 20'

W/ MAST ARM]

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VARIABLE MOTH SOUTH MARKET STREET / S.R. 0114

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20' WIDE PROPOSED

LOT 4A

GREEN RIDGÉ LEASING, LLC.

INSTR. 202105697

100' LONG @ 0.0%

RELIMINARY/FINAL BDIVISION AND LAND

DEVELOPMENT PLAN PB. 84, PG. 93

ANTONINO PURPURA

INSTR. 201524286

42-29-2454-366

INV. 562.75

147 LF OF 8"

-ROOF DRAIN @

AREA DRAIN /RIM = 567.72

 $| \text{INVERT} \neq 565.20 |$

0.5%

4" PERFORATED UNDERDRAIN

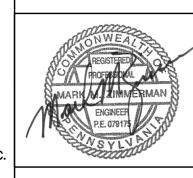
UNDERGROUND DETENTION SYSTEM

-4-36" DIA PERFORATED HDPE PIPES

PRELIMINARY/FINAL

BDIVISION AND LAND

STORMWATER **MANAGEMENT** EASEMENT



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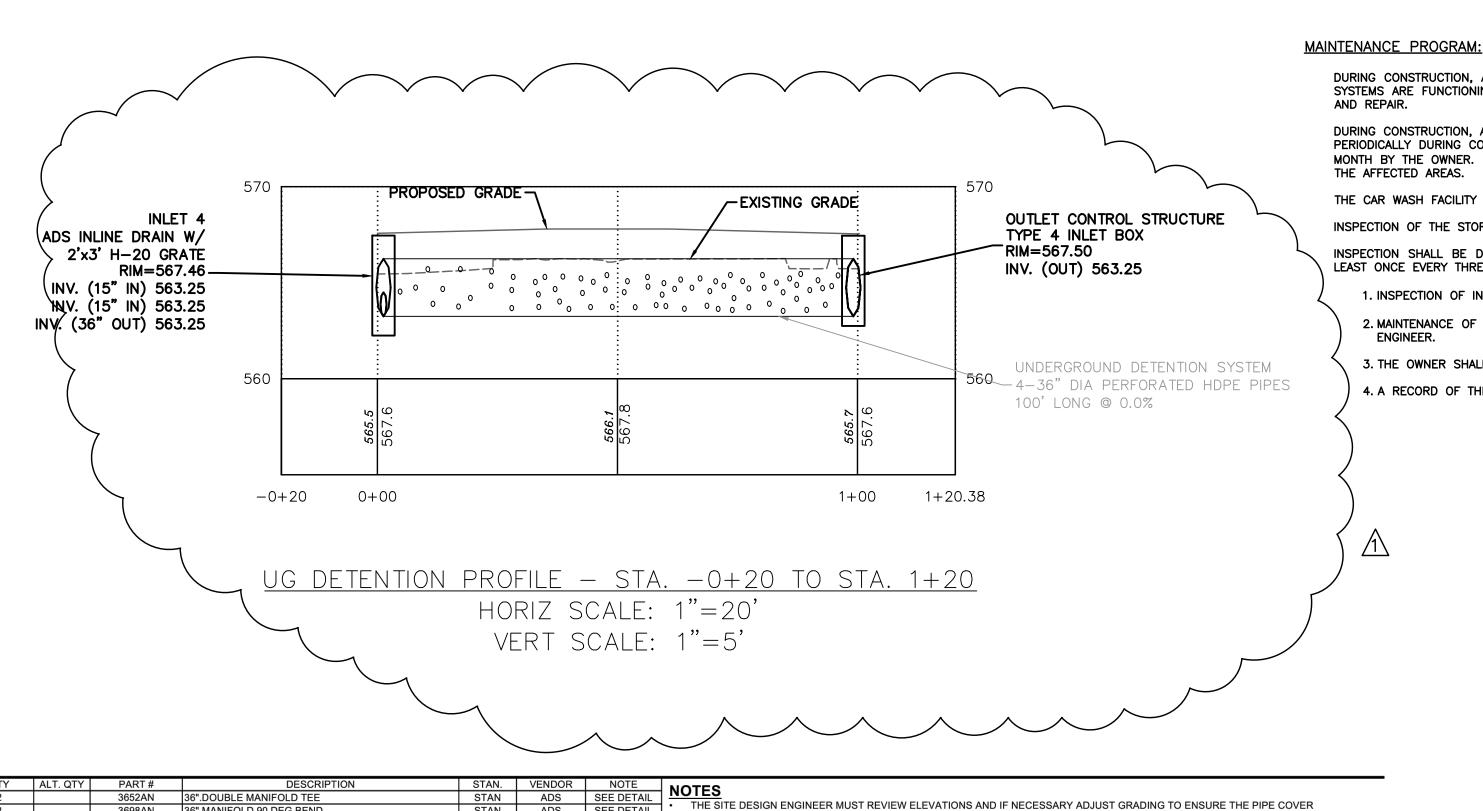
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1"=20'

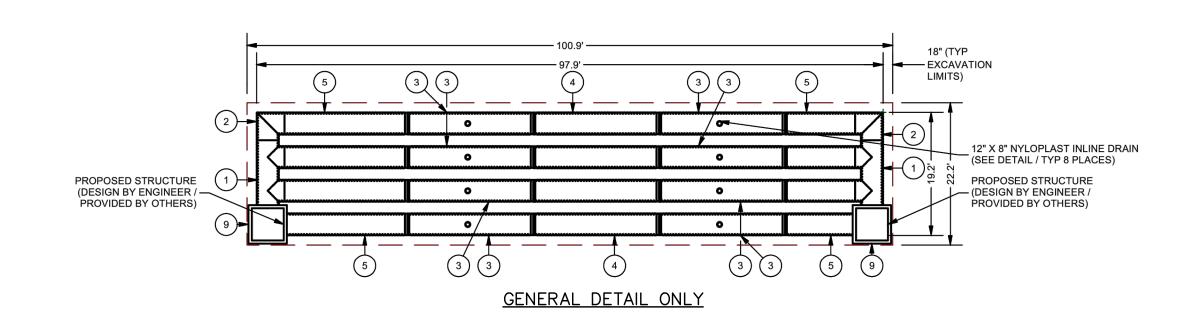
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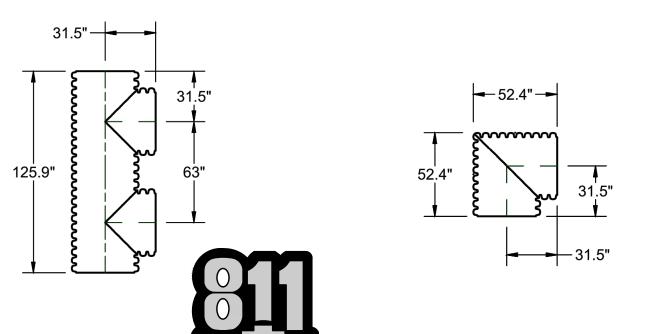
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STAN ADS SEE DETAIL
STAN ADS SEE DETAIL 36".DOUBLE MANIFOLD TEE 36".MANIFOLD 90 DEG BEND REQUIREMENTS ARE MET. 3 8 STICKS 158 LF STICK-1 36".N12 HWY.STIB.SOLID.20" CUS ADS SEE DETAIL STUB SIZES AND INVERTS TO BE VERIFIED BY THE SITE DESIGN ENGINEER PRIOR TO FABRICATION. 4 4 STICKS 79 LF 36850020IB 36".N12 HWY.STIB.SOLID.20' 5 7 STICKS 121 LF 36850020IB 36".N12 HWY.STIB.SOLID.20' STAN ADS AS SHOWN STAN ADS FIELD CUT ADS RISERS ARE FABRICATED 36" (900 mm) FROM TOP OF PIPE TO TOP OF RISER DUE TO SHIPPING LIMITATIONS. ADDITIONAL PIPE AND COUPLERS CAN BE USED TO EXTEND THE RISERS TO GRADE. 6 8 3661AA 36".SPLIT COUPLER.(50/PALLET)
7 2 ROLLS 745 SY 0601TG 601.15' X 300'.(500 SY).(NTPEP SCAN) (20% OVERAGE
8 8 2712AGNB 12" INLINE DRAIN SPEC
9 2 BY OTHERS CONCRETE STRUCTURES
10 10042 CF 372 CY NA EXCAVATION STAN ADS NOT SHOWN
STAN ADS SEE DETAIL
STAN ADS SEE DETAIL
NA BY OTHERS AS SHOWN
NA NA NOT SHOWN LAYOUT SHOWN DOES NOT INCLUDE ADDITIONAL PIPE & MANIFOLD NEEDED FOR PROPER PIPE INSERTION INTO STRUCTURES. **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE





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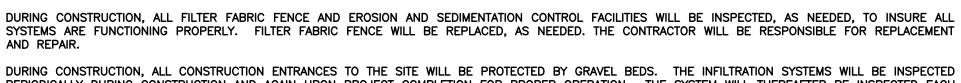
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THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE PIPE COVER

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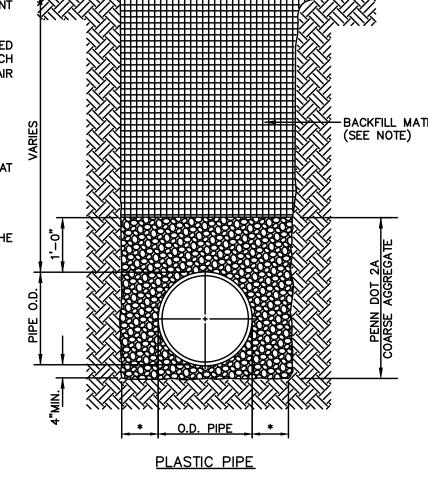
PERIODICALLY DURING CONSTRUCTION AND AGAIN UPON PROJECT COMPLETION FOR PROPER OPERATION. THE SYSTEM WILL THEREAFTER BE INSPECTED EACH MONTH BY THE OWNER. IF THE SYSTEM SHOWS ANY SIGNS OF FAILURE OR IMPROPER OPERATION AT ANY TIME, THE OWNER WILL REPLACE AND/OR REPAIR

THE CAR WASH FACILITY WILL UTILIZE BIODEGRADABLE CHEMICALS TO PREVENT GROUNDWATER CONTAMINATION.

INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM WILL INCLUDE:

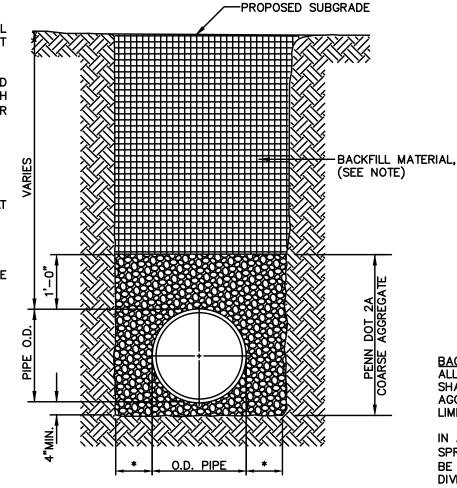
INSPECTION SHALL BE DONE OF THE ENTIRE STORMWATER MANAGEMENT FACILITY AFTER EVERY STORM EVENT EXCEEDING ONE INCH OF RAINFALL AND AT LEAST ONCE EVERY THREE MONTHS. THIS INSPECTION WILL INCLUDE:

- 1. INSPECTION OF INLET BOXES AND STORM SEWERS FOR ACCUMULATIONS OF DEBRIS AND/OR SEDIMENT.
- 2. MAINTENANCE OF THE FACILITIES SHALL INCLUDE VEGETATION CUTTING AND/OR REMOVAL ALONG WITH ROUTINE MAINTENANCE AS DETERMINED BY THE
- 3. THE OWNER SHALL CONTACT THE ENGINEER IF ANY SIGNS OF FAILURE HAVE BEEN FOUND DURING THE MONTHLY INSPECTION.
- 4. A RECORD OF THE INSPECTIONS SHOULD BE KEPT BY THE OWNER FOR REVIEW BY THE MUNICIPALITY.



O.D. - OUTSIDE PIPE DIAMETER * 12" IN PENNDOT R.O.W. - 8" MIN. IN ALL OTHER CONDITIONS

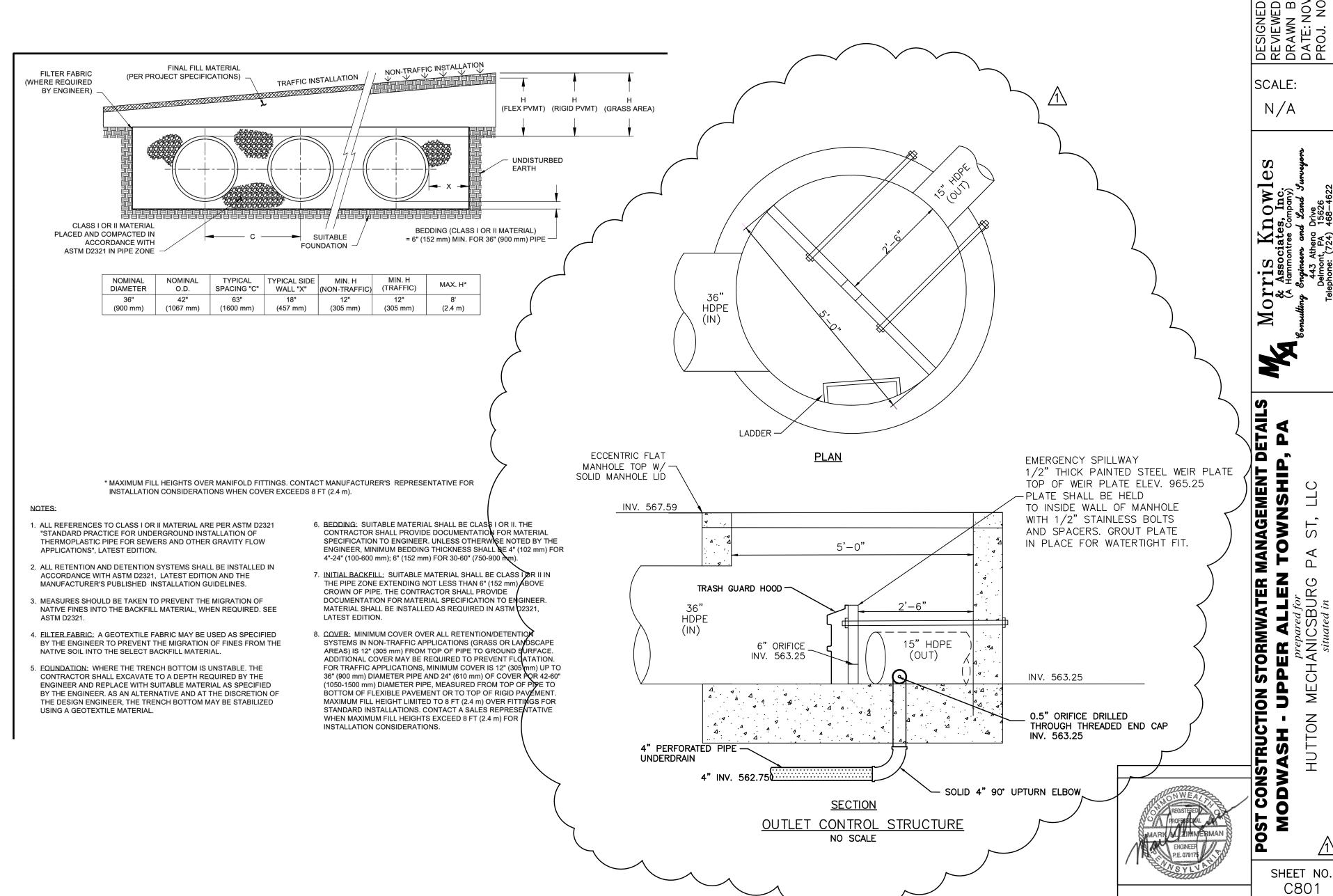
STORM SEWER STANDARD TRENCHING



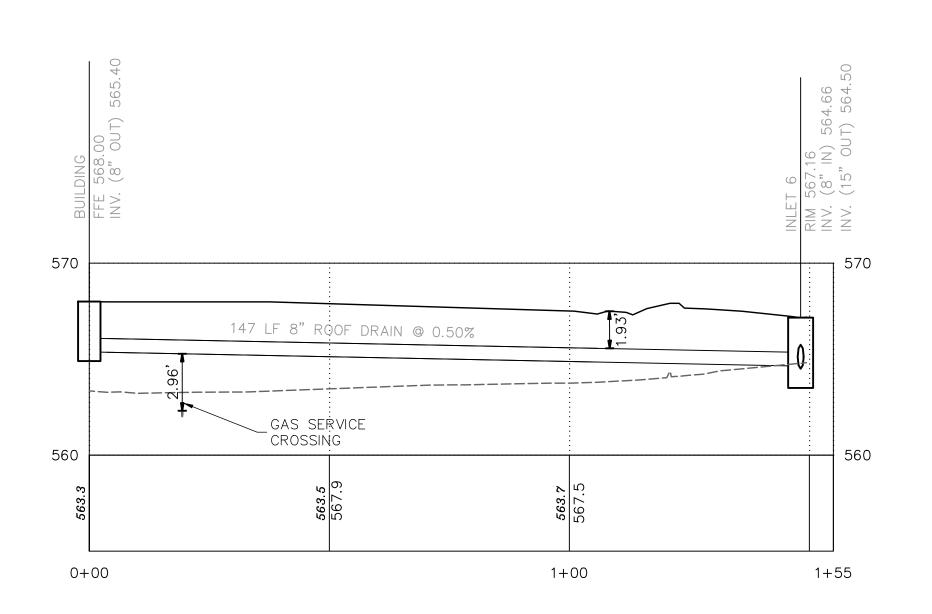
ALL STREET, SIDEWALK AND PARKING AREA CROSSINGS SHALL BE BACKFILLED TO SUBGRADE WITH AASHTO #57 AGGREGATE, GRAVEL OR STONE FOR SEWERS AND 2A LIMESTONE FOR ALL OTHER UTILITIES.

IN ALL OTHER TRENCH AREAS; BACKFILL FROM THE SPRINGLINE TO (1) ONE FOOT ABOVE THE TOP OF PIPE, TO BE SELECTED MATERIAL (SELECTED MATERIAL IS FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL AND STONES.), TAMPED IN (4) FOUR INCH LAYERS; THEN THE REMAINING BACKFILL FROM THE TRENCH MAY BE PLACED. IF UNSUITABLE BACKFILL IS DETERMINED TO BE PRESENT BY THE OWNER REPRESENTATIVE, IMPORTED BACKFILL WILL

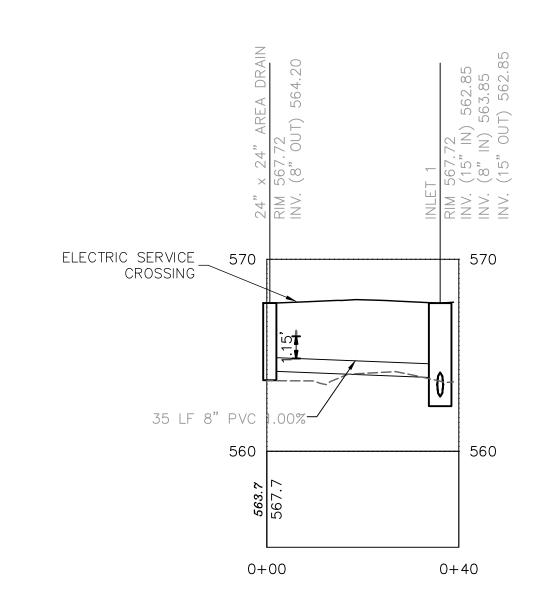
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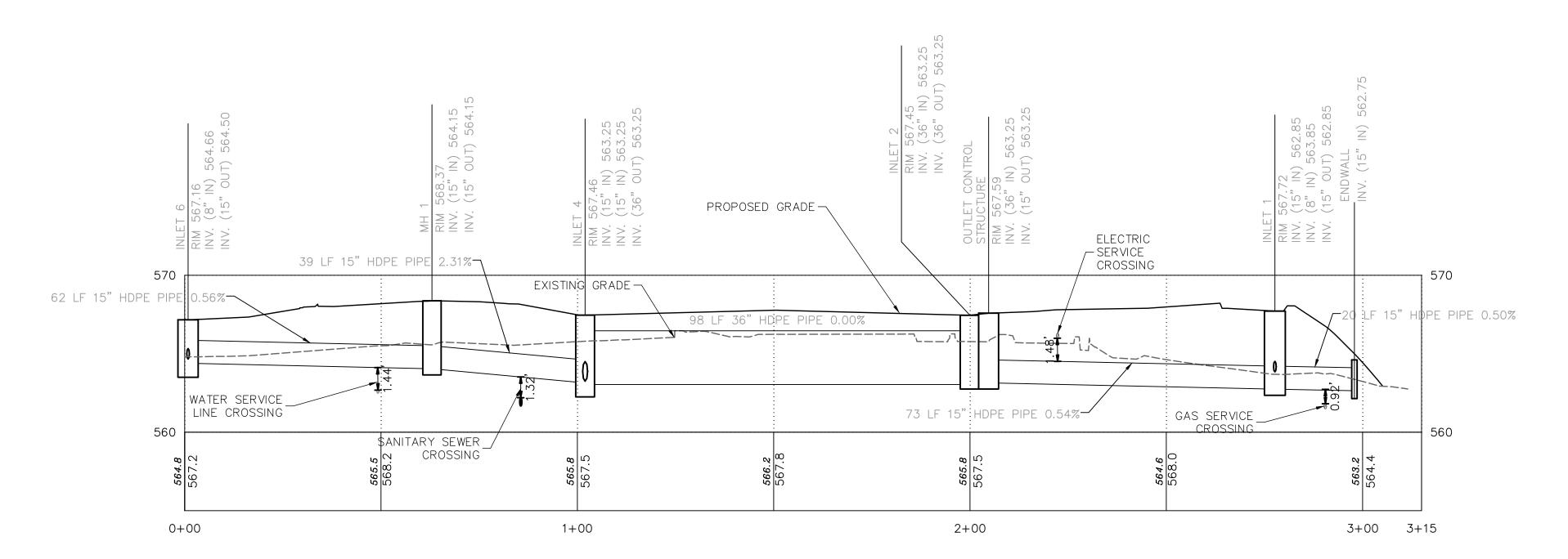
INLET 3 TO INLET 4 PROFILE - STA. 0+00 TO STA. 1+50 HORIZ SCALE: 1"=20' VERT SCALE: 1"=5'



BUILDING TO INLET 6 PROFILE - STA. 0+00 TO STA. 1+55 HORIZ SCALE: 1"=20' VERT SCALE: 1"=5"



AREA DRAIN TO INLET 1 PROFILE - STA. 0+00 TO STA. 0+40 HORIZ SCALE: 1"=20' VERT SCALE: 1"=5'



<u>INLET 6 TO ENDWALL PROFILE - STA. 0+00 TO STA. 3+15</u> HORIZ SCALE: 1"=20' VERT SCALE: 1"=5'

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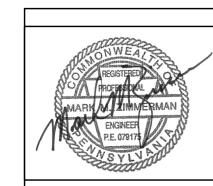
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SHEET NO. C802

DATE: DATE: DATE: DATE: DATE: DATE:

SCALE:

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Morris & Assoc (A Hammo