

STAGE 5, LOTS 361 – 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
WINDING HILLS
A PLANNED RESIDENTIAL DEVELOPMENT
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GENERAL NOTES :

THE PURPOSE OF THIS PLAN IS TO DEVELOP STAGE 5, LOTS 361–395, WINDING HILLS, A PLANNED COMMUNITY.

1. PLANNED RESIDENTIAL DEVELOPMENTS ARE NOT CONFINED BY THE ZONING MAP TO A SPECIFIC LOCATION OR LOCATIONS BUT CAN BE PLACED IN SUBURBAN RESIDENTIAL DISTRICTS AND URBAN RESIDENTIAL DISTRICTS WHEREVER MINIMUM DEVELOPMENT SITE SIZE IS AVAILABLE AND ALL OTHER REQUIREMENTS ARE MET.
2. SUBDIVISION AND LAND DEVELOPMENT STANDARDS PER CHAPTER 220, "TOWNSHIP OF UPPER ALLEN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE" [SALDO] (ENACTED BY ORDINANCE 474 ON JUNE 17, 1993, ORDINANCE 488 ON JUNE 16, 1994, AND ORDINANCE 497 ON NOVEMBER 21, 1996), AND PER ARTICLE 11, CHAPTER 245 ZONING ORDINANCE [ZO] (ENACTED BY ORDINANCE 485 ON AUGUST 20, 1992 AND ORDINANCE 474 ON JUNE 17, 1993).
3. ALPHA CONSULTING ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. THE LOCATIONS OF EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE. UTILITIES ARE BASED ON INFORMATION PROVIDED BY OTHERS AND ARE FOR DESIGN PURPOSES ONLY. ANY RISK OF UNANTICIPATED COST OR DELAY ASSOCIATED WITH DIFFERENCES BETWEEN LISTED AND ACTUAL UTILITIES SHALL BE ACCEPTED BY THE APPLICANT AND CONTRACTOR. THE APPLICANT SHALL REQUEST A 'FINAL DESIGN' ONE CALL IN ACCORDANCE WITH ACT 287 PRIOR TO RELEASING PLANS FOR EITHER BID OR CONSTRUCTION AND BOTH APPLICANT AND CONTRACTOR SHALL VERIFY UTILITY LOCATION AND OWNERSHIP AND COORDINATE WITH UTILITIES TO DETERMINE COST, LEVEL OF WORK, SCHEDULING, ETC. THE CONTRACTOR FOR THE PROJECT IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR VERIFICATION OF SERVICE LOCATIONS PRIOR TO EXCAVATING.
5. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE PUBLIC UTILITIES 72 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES.
6. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF UPPER ALLEN TOWNSHIP. ANY CONSTRUCTION METHODS OR SPECIFICATIONS NOT SHOWN ON THIS PLAN AND NOT SPECIFIED BY UPPER ALLEN TOWNSHIP SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS – PUBLICATION 408, AND CONSTRUCTION STANDARDS – PUBLICATION 72, CURRENT EDITIONS. CONSTRUCTION OF SANITARY SEWERS SHALL COMPLY TO THE LATEST EDITION OF THE UPPER ALLEN TOWNSHIP STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR THE SANITARY SEWER SYSTEM. ALL SANITARY SEWER CONSTRUCTED IN PUBLIC STREETS SHALL BE SUBJECT TO BACKFILL COMPACTION TESTING AT THE DEVELOPER'S EXPENSE. SEE PLAN SHEET 5 FOR TEMPORARY EASEMENT REQUIREMENTS.
7. THE GEOLOGY OF THE SITE MAY MAKE IT SUSCEPTIBLE TO SINKHOLES. IF ENCOUNTERED, SPECIAL CONSTRUCTION METHODS MAY BE REQUIRED TO MITIGATE THE EFFECTS IN ACCORDANCE WITH §220–11[SALDO]. SEE SHEET 6 FOR CONSTRUCTION METHODS.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL STREET SIGNS. STREET SIGNS SHALL BE AS PER §245–104.h [ZO]. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STREET IDENTIFICATION SIGNS. THE DEVELOPER MUST PROVIDE A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE TOWNSHIP AND PROVIDE AND INSTALL ALL REQUIRED TRAFFIC CONTROL SIGNS. ALL TRAFFIC CONTROL SIGNS MUST BE INSTALLED BEFORE OCCUPANCY CERTIFICATES ARE ISSUED FOR BUILDINGS WITHIN THE DEVELOPMENT.
9. SIDEWALKS TO BE DEPRESSED AT ALL INTERSECTIONS TO PROVIDE HANDICAP ACCESS PER CURRENT ADA REQUIREMENTS.
10. DRIVEWAY CONSTRUCTION IN STREET RIGHT–OF–WAY MUST BE IN ACCORDANCE WITH §245–81 [ZO]. DRIVEWAY LOCATIONS ARE NOT KNOWN AS THEY ARE SUBJECT TO THE BUILDING ARCHITECTURE, BUT ARE ASSUMED TO BE ON THE HIGH SIDE OF THE LOT FOR THE MAJORITY OF THE UNITS AND ARE SHOWN AS SUCH HEREIN. UPON CONSTRUCTION OF PROPOSED HOMES, NO PORTION OF A DRIVEWAY MAY INTERSECT THE STREET AT A STORM INLET.
11. FIRE HYDRANT CONNECTIONS MUST BE THE SIZE AND SHAPE APPROVED BY FIRE COMPANY. FIRE FLOWS SHALL NOT BE LESS THAN 500 GPM IN THE SINGLE–FAMILY RESIDENTIAL AREAS AT TWENTY (20) PSI RESIDUAL PRESSURE.
12. ELECTRIC, TELEPHONE, AND OTHER UTILITIES TO BE INSTALLED UNDERGROUND.
13. WATER SERVICE TO BE COORDINATED WITH SUEZ COMPANY.
14. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
15. EROSION AND SEDIMENTATION CONTROL APPROVAL FOR STAGE 5 IS REQUIRED FROM THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
16. SEWAGE PLANNING (ACT 537) HAS BEEN OBTAINED FOR THE ENTIRE DEVELOPMENT (PA DEP B3–21929–265–3E).
17. STORMWATER TREATMENT, DETENTION, AND RETENTION HAS BEEN APPROVED FOR THE ENTIRE DEVELOPMENT AS PART OF STAGE 1 AND 2 APPROVALS.
18. THE WINDING HILLS MASTER ASSOC. IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER DETENTION FACILITIES.
19. ALL COMMON / OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE WINDING HILLS MASTER ASSOCIATION IN ACCORDANCE WITH SECTION 245–106 [ZO]. THE COMMUNITY CENTER (FORMERLY LOT H) SHALL BE OWNED BY THE WINDING HILLS II OWNERS ASSOCIATION AND BE MAINTAINED BY THE WINDING HILLS MASTER ASSOCIATION.
20. EACH LOT OWNER SHALL BE RESPONSIBLE TO PLANT AT LEAST ONE TREE (15 FEET SEPARATION FROM SANITARY LATERAL) IN ACCORDANCE WITH §220–32[SALDO].
21. ALL RECREATION FEES ARE SATISFIED AS PER AGREEMENT RECORDED IN MISC. BOOK 704, PAGE 488.
22. THE APPROXIMATE WETLAND BOUNDARY HAS BEEN DELINEATED AS SHOWN.
23. THE ONE HUNDRED YEAR FLOOD PLAIN IS SHOWN AS DETERMINED BY AN ENGINEERING STUDY. UPPER ALLEN TOWNSHIP CONCURRENCE FEBRUARY 9, 2009. FEMA APPROVED CLOMR AUGUST 31, 2009.
24. AS–BUILT PLANS MUST BE SUBMITTED FOR ALL PROPOSED PUBLIC IMPROVEMENTS. AS–BUILT DRAWINGS TO INCLUDE TWO PAPER COPIES, ONE MYLAR COPY AND AN ELECTRONIC COPY IN AUTOCAD FORMAT UTILIZING THE NAD83 PA STATE PLANE SOUTH HORIZONTAL DATUM AND NAVD88 VERTICAL DATUM COORDINATE SYSTEM.
25. PAVEMENT MARKINGS PER PENNDOT PUBLICATION 408, CURRENT EDITION.
26. UNLESS OTHERWISE NOTED OR DEPICTED ON PLANS, ALL CORNERS SHALL BE SET WITH IRON PINS AS PER §220–24[SALDO].
27. WATER TABLE DEPTH FOR ALL SOILS ON SITE IS GREATER THAN 6 FEET EXCEPT FOR ATKINS SILT LOAM AT 0–0.5 FEET AND MELVIN SILT LOAM AT 0–1 FEET AS PER CUMBERLAND COUNTY SOIL SURVEY.
28. NO STRUCTURES SHALL BE BUILT WITHIN THE 100–YEAR FLOOD PLAIN AS PER ARTICLE 7 OF THE UPPER ALLEN TOWNSHIP ZONING ORDINANCE.
29. UPON COMPLETION OF SANITARY SEWER IMPROVEMENTS DEVELOPER SHALL BE REQUIRED TO SUBMIT AS–BUILT RECORD DRAWINGS WHICH SHALL INCLUDE STATION LOCATION, DEPTH AND LENGTH OF EACH LATERAL. AS–BUILT DRAWINGS TO INCLUDE TWO PAPER COPIES, ONE MYLAR COPY AND AN ELECTRONIC COPY IN AUTOCAD FORMAT UTILIZING THE NAD83 PA STATE PLANE SOUTH HORIZONTAL DATUM AND NAVD88 VERTICAL DATUM COORDINATE SYSTEM.

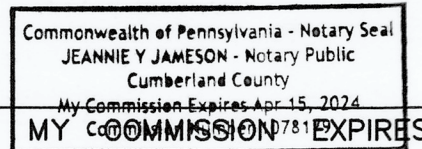
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Cumberland

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED
MICHAEL J. GREENE, IN HIS CAPACITY AS MANAGER OF STAGE 5 HOLDINGS,
LLC., WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAYS THAT
STAGE 5 HOLDINGS, LLC., IS THE OWNER OF STAGE 5 LOTS 361–395 SHOWN
ON THIS PLAN AND AFFIRMS THE SAME TO BE ITS ACT AND DEED AND DESIRE
THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

BY: [Signature]
MICHAEL J. GREENE

SWORN AND SUBSCRIBED BEFORE ME THIS 28th DAY OF September, 2020

[Signature]
NOTARY PUBLIC



THE STORMWATER MANAGEMENT SYSTEM WILL BE MAINTAINED
BY THE WINDING HILLS MASTER ASSOCIATION AS PER UPPER
ALLEN TOWNSHIP REQUIREMENTS.

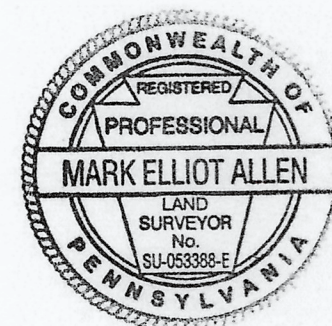
[Signature] 9/28/20
DATE
BY: _____, OFFICER, WINDING HILLS MASTER
ASSOCIATION

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED STAGE 5
HOLDINGS, LLC, IS THE OWNER OF STAGE 5 LOTS 361–395,
SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS
THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY
TENDERED FOR DEDICATION TO PUBLIC USE.

BY: [Signature] 9/28/20
MICHAEL J. GREENE, MANAGER,
STAGE 5 HOLDINGS, LLC, DATE

THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING
DEPARTMENT THIS 17th DAY OF, MAY 2018.

DIRECTOR OF PLANNING [Signature]



I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

[Signature]

DATE :

MAY 1, 2018

REVISED :

APRIL 13, 2020
MAY 20, 2020
JULY 02, 2020
JULY 29, 2020

INDEX OF DRAWINGS :

- 1 OF 11 • COVER SHEET
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- 6 OF 11 • GRADING / UTILITY PLAN
- 7 OF 11 • PROFILES
- 8-10 OF 11 • DETAILS
- 11 OF 11 • LANDSCAPE AND LIGHTING PLAN

PREVIOUS TOWNSHIP APPROVAL DATES:

FEBRUARY 06, 2001	TENTATIVE PLAN
FEBRUARY 19, 2004	STAGE 1 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
FEBRUARY 23, 2005	STAGE 1 SUPPLEMENTAL, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
SEPTEMBER 7, 2006	REVISED TENTATIVE PLAN
JANUARY 17, 2007	STAGE 2 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN, REVISED CONSTRUCTION SCHEDULE
SEPTEMBER 02, 2010	STAGE 2 FINAL RESUBDIVISION PLAN – LOTS 189 THROUGH 197
DECEMBER 16, 2010	2ND REVISED CONSTRUCTION SCHEDULE
AUGUST 03, 2011	REVISED STAGE 3 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN, REVISED CONSTRUCTION SCHEDULE
AUGUST 15, 2012	STAGE 5, LOTS 198–219, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
APRIL 16, 2013	REVISED FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN, LOT G, STAGE 2
SEPTEMBER 25, 2013	FINAL LAND DEVELOPMENT PLAN, COMMUNITY CENTER, LOT H, STAGE 3
JULY 15, 2015	REVISED STAGE 3, LOTS 240–243, 271–276, FINAL SUBDIVISION PLAN
JUNE 15, 2015	REVISED STAGE 4, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
MAY 03, 2017	STAGE 5, LOTS 325–360 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
APRIL 21, 2017	STAGE 6, LOTS 278–290, 310, 311 AND 324 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
APRIL 04, 2018	STAGE 6, LOTS 291–309, AND 312–323 FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
MAY 15, 2019	STAGE 8, LOTS 420–438, 465–471, J, AND K FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
FEBRUARY 05, 2020	STAGE 7, SECTION 1, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

INVENTORY OF PERMITS / APPROVALS :

AGENCY :	PERMIT:	DATE SUBMITTED :	PERMIT NO:	APPROVAL DATE:
1. US ARMY CORP OF ENGINEERS	JOINT PERMIT	JANUARY 19, 2004	04–00747–7	FEBRUARY 13, 2004
2. PA DEPARTMENT OF ENVIRONMENTAL PROTECTION	WATER OBSTRUCTION & ENCROACHMENT PERMIT	OCTOBER 27, 2003	E21–353 & APS–491973	FEBRUARY 20, 2004
3. PA DEPARTMENT OF ENVIRONMENTAL PROTECTION	STAGE 1–2 SEWAGE PLANNING MODULE	SEPTEMBER 3, 2003	A3–21929–225–3E	OCTOBER 20, 2003
4. PA DEPARTMENT OF ENVIRONMENTAL PROTECTION	STAGE 3–6(8) SEWAGE PLANNING MODULE	MARCH 4, 2008	B3–21929–265–3E	FEBRUARY 24, 2009
5. PA DEPARTMENT OF TRANSPORTATION	HIGHWAY OCCUPANCY PERMIT	OCTOBER 1, 2003	08057558	FEBRUARY 20, 2004
6. PA DEPARTMENT OF TRANSPORTATION	HIGHWAY OCCUPANCY PERMIT	DECEMBER 6, 2013	08086242	MAY 8, 2014
7. CUMBERLAND COUNTY CONSERVATION DISTRICT	NPDES FOR SITE	APRIL 8, 2002	PAG–02–0021–03–013	APRIL 15, 2003
8. CUMBERLAND COUNTY CONSERVATION DISTRICT	NPDES RENEWAL	MARCH 5, 2008	PAG–02–0021–03–013R	MARCH 25, 2008
9. CUMBERLAND COUNTY CONSERVATION DISTRICT	NPDES RENEWAL	DECEMBER 24, 2013	PAG–02–0021–03–013R	MARCH 25, 2013
10. CUMBERLAND COUNTY CONSERVATION DISTRICT	NPDES RENEWAL	FEBRUARY 22, 2018	PAC210064	JUNE 29, 2018
11. CUMBERLAND COUNTY CONSERVATION DISTRICT	STAGE 3 E&S	JULY 7, 2011	PAG–02–0021–03–013R	SEPTEMBER 13, 2011
12. CUMBERLAND COUNTY CONSERVATION DISTRICT	STAGE 4&7 E&S	APRIL 17, 2015	PAG–02–0021–03–013R	JULY 15, 2015
13. CUMBERLAND COUNTY CONSERVATION DISTRICT	STAGE 5 E&S	JANUARY 18, 2017	PAG–02–0021–03–013R	MARCH 31, 2017
14. CUMBERLAND COUNTY CONSERVATION DISTRICT	STAGE 6 E&S	FEBRUARY 20, 2017	PAG–02–0021–03–013R	MARCH 31, 2017
15. CUMBERLAND COUNTY CONSERVATION DISTRICT	STAGE 8 E&S	JULY 25, 2017	PAG–02–0021–03–013R	NOVEMBER 13, 2017
16. CUMBERLAND COUNTY CONSERVATION DISTRICT	JOINT PERMIT REVISED	DECEMBER 01, 2017	NAB–2004–00747–P12	APRIL 18, 2019

SITE DATA :

ZONED :	SR, SUBURBAN RESIDENTIAL (GENERAL NOTES 1 & 2)
PROPOSED USE :	PRD, PLANNED RESIDENTIAL DEVELOPMENT (GENERAL NOTE 1)
TAX PARCEL NUMBER :	RESIDENTIAL: TOWNHOUSES / SINGLE FAMILY DETACHED
SOURCE OF TITLE :	42–10–0256– 659
	BK. B21 PG. 808, T.M. 42–11–274 PARCEL 1
	BK. K29 PG. 383, T.M. 42–27–1886 PARCEL 149
TITLE :	BK. 279 PG. 1263 * LOTS 325–395
PUBLIC ROW AREA :	1.93 AC 6.26 AC (STAGE 5*) 54.21 AC (SITE)
DEVELOPED AREA :	9.71 AC 20.80 AC (STAGE 5*) 201.63 AC (SITE)
OPEN SPACE AREA :	3.00 AC 7.08 AC (STAGE 5*) 127.57 AC (SITE)
TOTAL SITE AREA :	14.64 AC 34.14 AC (STAGE 5*) 383.41 AC (SITE)
NO. OF PROPOSED UNITS :	35 71 (STAGE 5*) 891 (SITE)
SITE DENSITY :	2.39 U/AC 2.08 U/AC (STAGE 5*) 2.32 U/AC (SITE)

WATER SUPPLY :	PUBLIC (SUEZ)
SANITARY SEWER :	PUBLIC (UPPER ALLEN TOWNSHIP)

ZONING DATA	PRD ENTIRE DEVELOPMENT
MINIMUM DEVELOPMENT SIZE :	50 ACRES
MIN. OPEN SPACE :	20%
MAXIMUM GROSS DENSITY :	12 UNITS / ACRE
MINIMUM SINGLE FAMILY :	40%
MAXIMUM LOT COVERAGE :	60%
MINIMUM BLDG. SETBACKS :	FRONT – 20' SIDE – 6' OR 10' AS SHOWN ON THE REVISED TENTATIVE PLAN REAR – 25' AS SHOWN ON THE REVISED TENTATIVE PLAN
MIN. DEVELOPMENT SETBACKS :	50'
MIN. PLANTING BUFFERS :	20'
MAXIMUM BUILDING HEIGHT :	35'
MIN. PARKING REQUIREMENT :	TWO SPACES PER DWELLING UNIT

MODIFICATIONS:

THE APPLICANT IS REQUESTING THE FOLLOWING MODIFICATIONS TO THE REQUIREMENTS OF THE
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

1. SECTION 220–8.A.(7) REQUIREMENT TO SHOW CONTOURS AT VERTICAL INTERVALS OF ONE
(1) FOOT OR AS REQUIRED BY THE TOWNSHIP ENGINEER.
APPROVED MAY 3, 2017
B.O.C. ACTION DATE
2. SECTION 220–10 REQUIREMENT FOR FINAL PLAT TO BE ON A SHEET EIGHTEEN BY
TWENTY–FOUR INCHES.
APPROVED MAY 3, 2017
B.O.C. ACTION DATE



SERIAL NUMBERS:
20180540700

EQUITABLE OWNER / DEVELOPER :

STAGE 5 HOLDINGS, LLC
A PENNSYLVANIA LIMITED LIABILITY CORP.
PO BOX 719
MECHANICSBURG, PA 17055
PHONE: (717) 909–4722

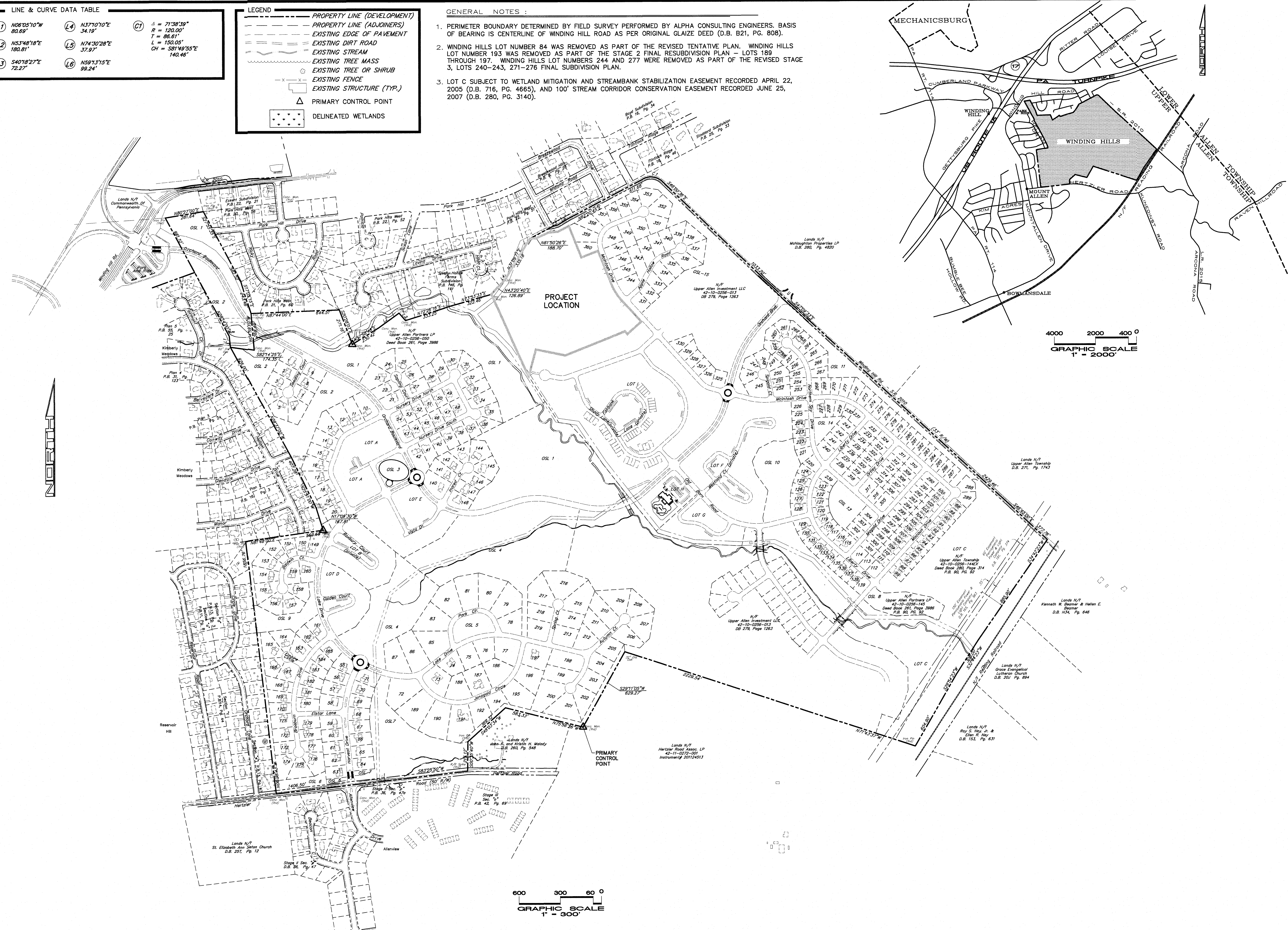
ALPHA
ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
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NEW CUMBERLAND, PA 17070
PHONE: (717) 770–2500
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THIS 14TH DAY OF OCTOBER, 2020.
INSTRUMENT #202028993

LINE & CURVE DATA TABLE			
(1)	N06°05'10"W 80.69'	(4)	N37°10'10"E 34.19'
(2)	N53°48'18"E 180.81'	(5)	N74°30'28"E 37.97'
(3)	S40°18'27"E 72.27'	(6)	N59°13'15"E 99.24'
		(7)	$\Delta = 71'38'39"$ $R = 120.00'$ $T = 86.61'$ $L = 150.00'$ $CH = 381'49'55"E$ $140.46'$

LEGEND	
	PROPERTY LINE (DEVELOPMENT)
	PROPERTY LINE (ADJOINERS)
	EXISTING EDGE OF PAVEMENT
	EXISTING DIRT ROAD
	EXISTING STREAM
	EXISTING TREE MASS
	EXISTING TREE OR SHRUB
	EXISTING FENCE
	EXISTING STRUCTURE (TYP.)
	PRIMARY CONTROL POINT
	DELINEATED WETLANDS

- GENERAL NOTES :
- PERIMETER BOUNDARY DETERMINED BY FIELD SURVEY PERFORMED BY ALPHA CONSULTING ENGINEERS. BASIS OF BEARING IS CENTERLINE OF WINDING HILL ROAD AS PER ORIGINAL GLAIZE DEED (D.B. B21, PG. 808).
 - WINDING HILLS LOT NUMBER 84 WAS REMOVED AS PART OF THE REVISED TENTATIVE PLAN. WINDING HILLS LOT NUMBER 193 WAS REMOVED AS PART OF THE STAGE 2 FINAL RESUBDIVISION PLAN - LOTS 189 THROUGH 197. WINDING HILLS LOT NUMBERS 244 AND 277 WERE REMOVED AS PART OF THE REVISED STAGE 3, LOTS 240-243, 271-276 FINAL SUBDIVISION PLAN.
 - LOT C SUBJECT TO WETLAND MITIGATION AND STREAMBANK STABILIZATION EASEMENT RECORDED APRIL 22, 2005 (D.B. 716, PG. 4665), AND 100' STREAM CORRIDOR CONSERVATION EASEMENT RECORDED JUNE 25, 2007 (D.B. 280, PG. 3140).

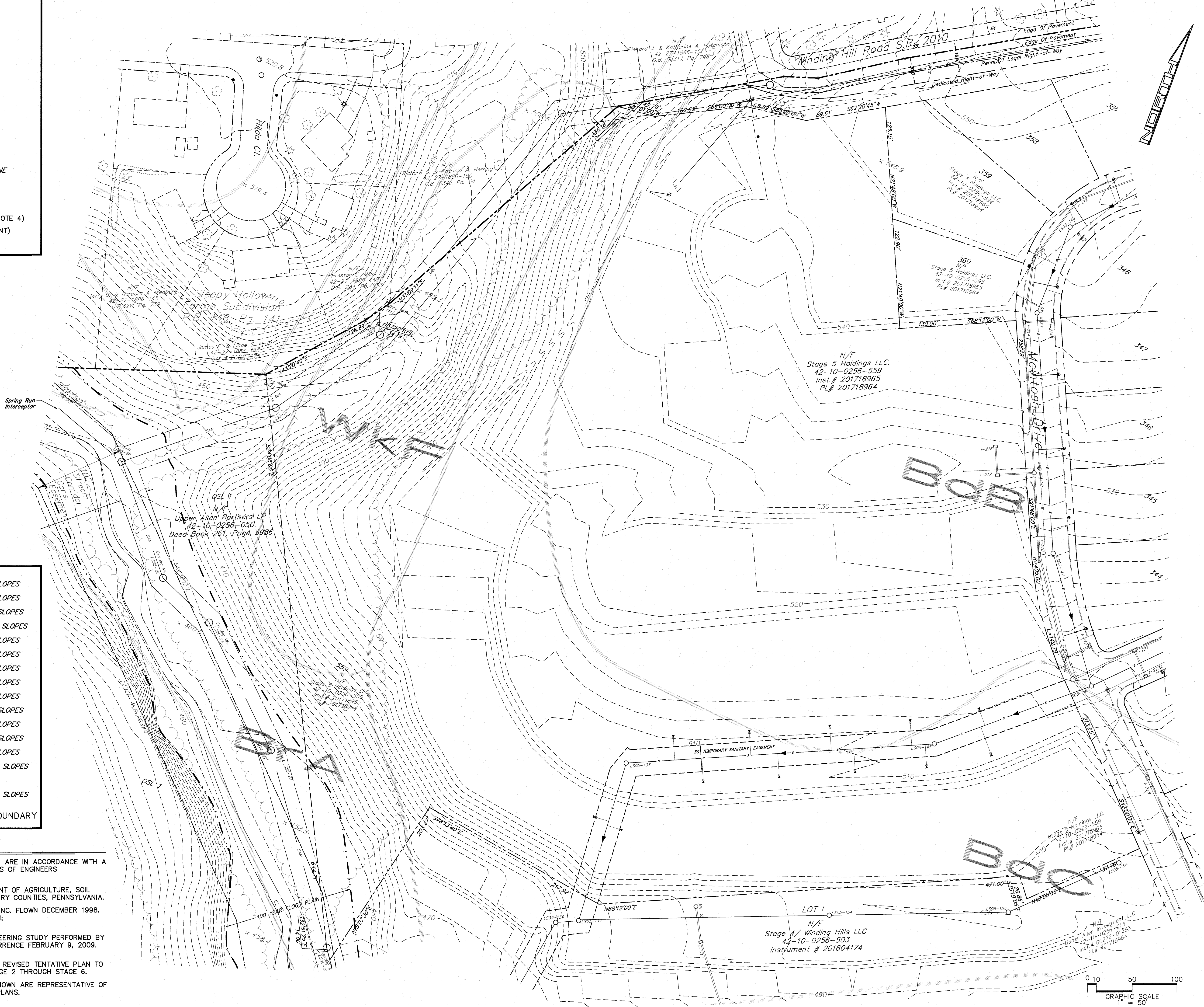


LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING DIRT ROAD
- EXISTING STREAM
- EXISTING TREE MASS
- EXISTING TREE OR SHRUB
- ORCHARD PLANTING (APPLE TREE)
- EXISTING FENCE
- EXISTING STRUCTURE (TYP.)
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING OVERHEAD UTILITIES
- DELINEATED WETLANDS
- 100 YR. FLOOD BOUNDARY (NOTE 4)
- PROPERTY LINE (DEVELOPMENT)
- PROPERTY LINE (ADJOINERS)

SOILS INFORMATION		
Aw	• ATKINS SILT LOAM,	0-3% SLOPES
BdB	• BEDINGTON SHALY SILT LOAM,	3-8% SLOPES
BdC	• BEDINGTON SHALY SILT LOAM,	8-15% SLOPES
BdD	• BEDINGTON SHALY SILT LOAM,	15-25% SLOPES
BpB	• BLAIRTON SILT LOAM,	3-8% SLOPES
BrA	• BRINKERTON SILT LOAM,	0-3% SLOPES
BrB	• BRINKERTON SILT LOAM,	3-8% SLOPES
DuA	• DUFFIELD SILT LOAM,	0-3% SLOPES
DuB	• DUFFIELD SILT LOAM,	3-8% SLOPES
DuC	• DUFFIELD SILT LOAM,	8-15% SLOPES
EdB	• EDM SILTY CLAY LOAM,	3-8% SLOPES
EdC	• EDM SILTY CLAY LOAM,	8-15% SLOPES
HaB	• HAGERSTOWN SILT LOAM,	3-8% SLOPES
HdF	• HAGERSTOWN-ROCK OUTCROP,	25-60% SLOPES
Me	• MELVIN SILT LOAM,	
WkF	• WEIKERT AND KUNESVILLE VERY SHALY SILT LOAM,	25-75% SLOPES

- GENERAL NOTES :
- WETLANDS AND OTHER REGULATED WATERWAYS DEPICTED HEREIN ARE IN ACCORDANCE WITH A JURISDICTIONAL DETERMINATION ISSUED BY THE U.S. ARMY CORPS OF ENGINEERS (04-00747-7) DATED FEBRUARY 13, 2004.
 - SOILS INFORMATION TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, SOIL SURVEY OF CUMBERLAND AND PERRY COUNTIES, PENNSYLVANIA.
 - TOPOGRAPHY TAKEN FROM AERIAL MAPPING PROVIDED BY ADR, INC. FLOWN DECEMBER 1998. VERTICAL DATUM BASED ON THE UPPER ALLEN TOWNSHIP DATUM; MH 133, RIM ELEV. = 424.65.
 - 100 - YEAR FLOOD PLAIN BOUNDARY AS DETERMINED BY ENGINEERING STUDY PERFORMED BY ALPHA CONSULTING ENGINEERS, UPPER ALLEN TOWNSHIP CONCURRENCE FEBRUARY 9, 2009. FEMA APPROVED CLOMR AUGUST 31, 2009.
 - SIDE YARD SETBACK REDUCED TO EITHER SIX OR TEN FEET PER REVISED TENTATIVE PLAN TO BE CONSISTENT WITH SIDE YARDS OF COMPARABLE LOTS IN STAGE 2 THROUGH STAGE 6.
 - THE AREA TO BE DEVELOPED IS A RESIDUAL LOT. BEARINGS SHOWN ARE REPRESENTATIVE OF THE ADJACENT LOTS AS INDICATED ON PREVIOUSLY RECORDED PLANS.



DESIGN : ALPHA
DRAWN : MEA
CHECKED : ALPHA
DATE : 05-01-2018
REV : 07-02-2020

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ALPHA
ALPHA CONSULTING ENGINEERS, INC.

SEAL

EXISTING FEATURES PLAN
STAGE 5, LOTS 361 - 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
WINDING HILLS
A PLANNED RESIDENTIAL DEVELOPMENT
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
314145
SURVEY BOOK :
H:\Surveyor\Year\Project\lot
SCALE : 1"=50'
DWG : 025-0256-503
FILE : 025-0256-503-361
SHEET 3 of 11



REVISED CONSTRUCTION SCHEDULE

	STAGE 1	(2001 - 2006) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 1 - MAY 4, 2001
110 SINGLE FAMILY LOTS	20 % OF DEVELOPMENT	
65 T-H UNITS	80 % STAGE PERMITTED UNDER S-R ZONING	
10,825 LF. ROADS	122.08 AC. STAGE AREA	
	1.43 U/AC. DENSITY	
	STAGE 2	(2006 - 2008) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 2 - O/B DECEMBER 31, 2006
85 SINGLE FAMILY LOTS	24 % OF DEVELOPMENT 44 % TOTAL	
131 T-H UNITS	98.10 AC. STAGE AREA	
8,720 LF. ROADS	2.14 U/AC. DENSITY	
	STAGE 3	(2011 - 2013) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 3 - O/B DECEMBER 31, 2008
56 SINGLE FAMILY LOTS	6 % OF DEVELOPMENT 50 % TOTAL	
0 T-H UNITS	20.13 AC. STAGE AREA	
2,970 LF. ROADS	2.78 U/AC. DENSITY	
	STAGE 4	(2013 - 2017) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 4 - O/B DECEMBER 31, 2012
0 SINGLE FAMILY LOTS	12 % OF DEVELOPMENT 62 % TOTAL	
109 T-H UNITS	15.42 AC. STAGE AREA	
3,760 LF. ROADS	7.13 U/AC. DENSITY	
	STAGE 5	(2015 - 2018) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 5 - O/B DECEMBER 31, 2014
93 SINGLE FAMILY LOTS	10 % OF DEVELOPMENT 72 % TOTAL	
0 T-H UNITS	49.85 AC. STAGE AREA	
5,780 LF. ROADS	1.88 U/AC. DENSITY	
	STAGE 6	(2017 - 2019) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 6 - O/B DECEMBER 31, 2016
47 SINGLE FAMILY LOTS	5 % OF DEVELOPMENT 77 % TOTAL	
0 T-H UNITS	12.25 AC. STAGE AREA	
2,340 LF. ROADS	3.84 U/AC. DENSITY	
	STAGE 7	(2019 - 2021) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 7 - O/B DECEMBER 31, 2018
19 SINGLE FAMILY LOTS	10 % OF DEVELOPMENT 87 % TOTAL	
59 T-H UNITS	16.15 AC. STAGE AREA	
1,702 LF. ROADS	4.83 U/AC. DENSITY	
	STAGE 8	(2019 - 2021) DATE OF SUBMISSION - FINAL SUBDIVISION APPLICATION / STAGE 8 - O/B DECEMBER 31, 2018
52 SINGLE FAMILY LOTS	13 % OF DEVELOPMENT 100 % TOTAL	
65 T-H UNITS	47.05 AC. STAGE AREA	
4,860 LF. ROADS	2.51 U/AC. DENSITY	

THIS REVISED CONSTRUCTION SCHEDULE MODIFIES THE CONSTRUCTION SCHEDULE (SHEET C-7, STAGE 1, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), AND THE REVISED CONSTRUCTION SCHEDULES: (SHEET C-6, STAGE 1 SUPPLEMENTAL, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 5 OF 48, STAGE 2, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 23, REVISED STAGE 3, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 17, STAGE 5, LOTS 198-219, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 5 OF 5, REVISED FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN, LOT G, STAGE 2), (SHEET 4 OF 9, REVISED STAGE 3, LOTS 240-243, 271-276, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 18, REVISED STAGE 4, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 16, STAGE 5, LOTS 325-360, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 11, STAGE 6, LOTS 278-290, 310, 311 AND 324, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 11, STAGE 6, LOTS 291-309, AND 312-323, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), (SHEET 4 OF 22, STAGE 8, LOTS 420-438, 465-471, J, AND K, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN), AND (SHEET 4 OF 13, STAGE 7, SECTION 1, FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN).

DESIGN :	ALPHA
DRAWN :	MEA
CHECKED :	ALPHA
DATE :	05-01-2018
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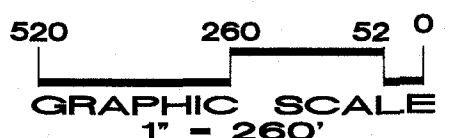
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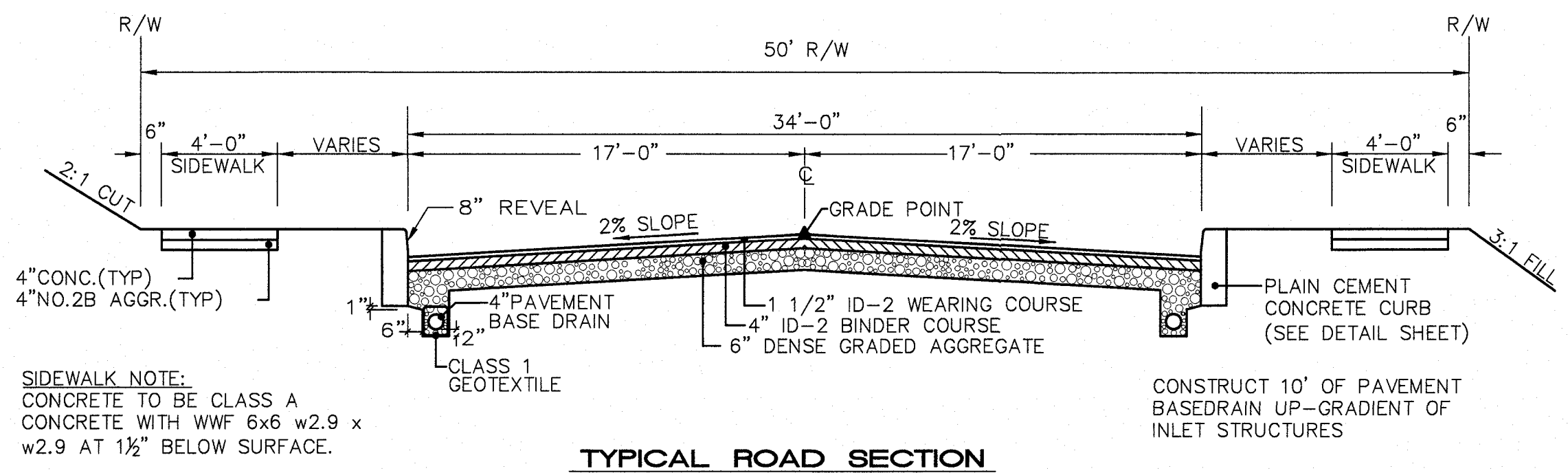
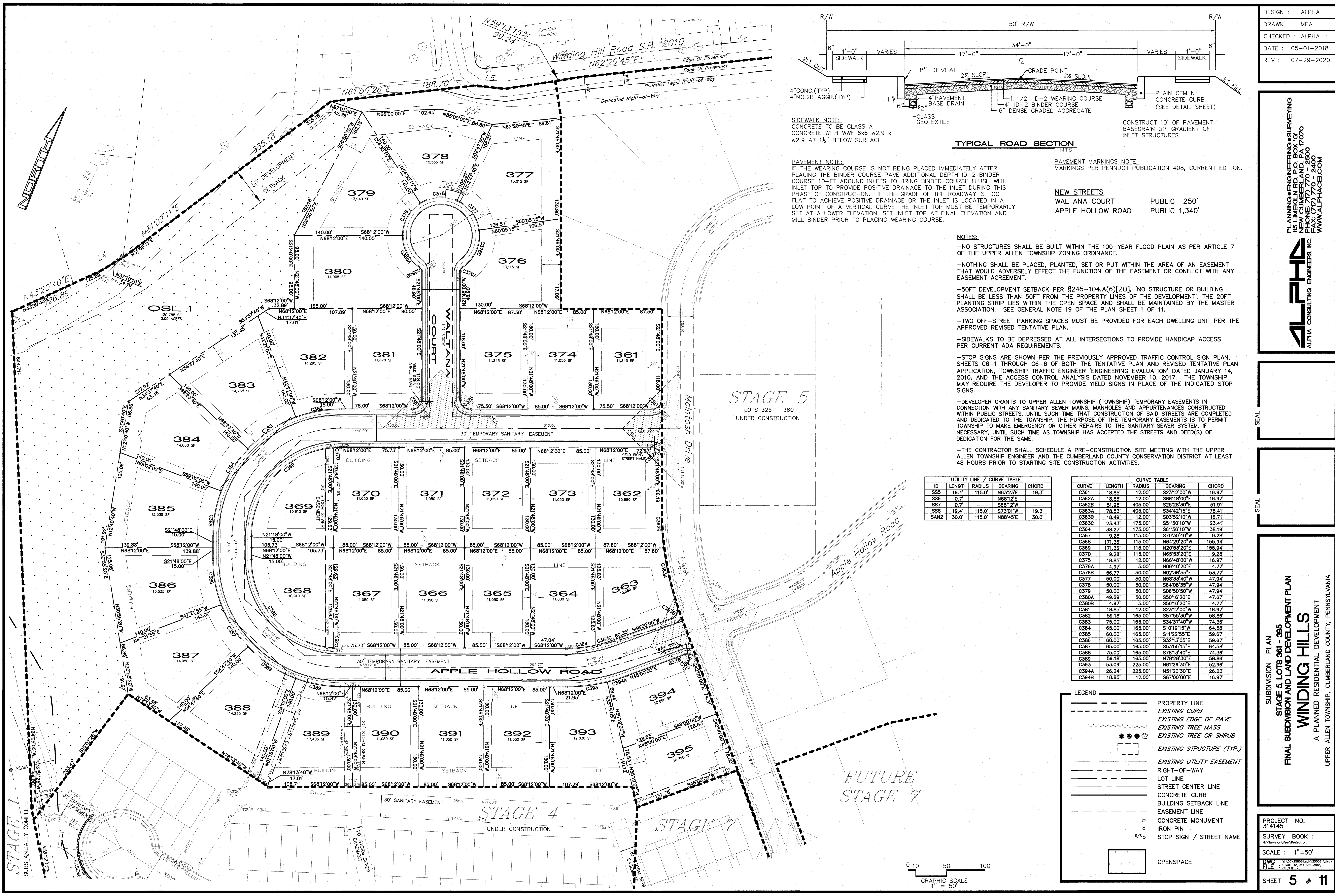
STAGING PLAN
STAGE 5, LOTS 361 - 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

WINDING HILLS
A PLANNED RESIDENTIAL DEVELOPMENT

UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	314145
SURVEY BOOK :	H:\Survey\Year\Project.txt
SCALE :	1" = 260'
DWG FILE :	31452-7104 31452.dwg
SHEET	4 of 11





PAVEMENT NOTE:
CONCRETE TO BE CLASS A CONCRETE WITH WWF 6x6 w2.9 x w2.9 AT 1 1/2" BELOW SURFACE.

PAVEMENT MARKINGS NOTE:
MARKINGS PER PENNDOT PUBLICATION 408, CURRENT EDITION.

NEW STREETS
WALTANA COURT PUBLIC 250'
APPLE HOLLOW ROAD PUBLIC 1,340'

- NOTES:**
- NO STRUCTURES SHALL BE BUILT WITHIN THE 100-YEAR FLOOD PLAIN AS PER ARTICLE 7 OF THE UPPER ALLEN TOWNSHIP ZONING ORDINANCE.
 - NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY EFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH ANY EASEMENT AGREEMENT.
 - 50FT DEVELOPMENT SETBACK PER §245-104.A(6)[20]. 'NO STRUCTURE OR BUILDING SHALL BE LESS THAN 50FT FROM THE PROPERTY LINES OF THE DEVELOPMENT'. THE 20FT PLANTING STRIP LIES WITHIN THE OPEN SPACE AND SHALL BE MAINTAINED BY THE MASTER ASSOCIATION. SEE GENERAL NOTE 19 OF THE PLAN SHEET 1 OF 11.
 - TWO OFF-STREET PARKING SPACES MUST BE PROVIDED FOR EACH DWELLING UNIT PER THE APPROVED REVISED TENTATIVE PLAN.
 - SIDEWALKS TO BE DEPRESSED AT ALL INTERSECTIONS TO PROVIDE HANDICAP ACCESS PER CURRENT ADA REQUIREMENTS.
 - STOP SIGNS ARE SHOWN PER THE PREVIOUSLY APPROVED TRAFFIC CONTROL SIGN PLAN, SHEETS C6-1 THROUGH C6-6 OF BOTH THE TENTATIVE PLAN AND REVISED TENTATIVE PLAN APPLICATION, TOWNSHIP TRAFFIC ENGINEER 'ENGINEERING EVALUATION' DATED JANUARY 14, 2010, AND THE ACCESS CONTROL ANALYSIS DATED NOVEMBER 10, 2017. THE TOWNSHIP MAY REQUIRE THE DEVELOPER TO PROVIDE YIELD SIGNS IN PLACE OF THE INDICATED STOP SIGNS.
 - DEVELOPER GRANTS TO UPPER ALLEN TOWNSHIP (TOWNSHIP) TEMPORARY EASEMENTS IN CONNECTION WITH ANY SANITARY SEWER MAINS, MANHOLES AND APPURTENANCES CONSTRUCTED WITHIN PUBLIC STREETS, UNTIL SUCH TIME THAT CONSTRUCTION OF SAID STREETS ARE COMPLETED AND DEDICATED TO THE TOWNSHIP. THE PURPOSE OF THE TEMPORARY EASEMENTS IS TO PERMIT TOWNSHIP TO MAKE EMERGENCY OR OTHER REPAIRS TO THE SANITARY SEWER SYSTEM, NECESSARY, UNTIL SUCH TIME AS TOWNSHIP HAS ACCEPTED THE STREETS AND DEED(S) OF DEDICATION FOR THE SAME.
 - THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.

UTILITY LINE / CURVE TABLE			
ID	LENGTH	RADIUS	BEARING
SS5	19.4'	115.0'	N63°23'E
SS6	0.7'	---	N68°12'E
SS7	0.7'	---	N68°12'E
SS8	19.4'	115.0'	S73°01'W
SAN2	30.0'	115.0'	N88°45'E

CURVE TABLE			
CURVE	LENGTH	RADIUS	BEARING
C361	18.85'	12.00'	S23°12'00"W
C362A	18.85'	12.00'	S68°12'00"E
C362B	51.95'	405.00'	S25°28'30"E
C363A	78.53'	405.00'	S34°42'15"E
C363B	18.49'	12.00'	S03°52'10"W
C363C	23.43'	175.00'	S51°50'10"W
C364	38.27'	175.00'	S61°56'10"W
C367	9.28'	115.00'	S70°50'40"W
C368	171.36'	115.00'	N64°29'20"W
C369	171.36'	115.00'	N20°53'20"E
C370	9.28'	115.00'	N65°53'20"E
C375	18.85'	12.00'	N66°48'00"W
C376A	4.97'	5.00'	N06°40'20"E
C376B	56.77'	50.00'	N02°36'55"E
C377	50.00'	50.00'	N58°33'40"W
C378	50.00'	50.00'	S64°08'35"W
C379	50.00'	50.00'	S06°50'50"W
C380A	49.69'	50.00'	S50°16'20"E
C380B	4.97'	5.00'	S50°16'20"E
C381	18.85'	12.00'	S23°12'00"W
C382	59.18'	165.00'	S57°55'30"W
C383	65.00'	165.00'	S34°37'40"W
C384	65.00'	165.00'	S10°19'15"W
C385	60.00'	165.00'	S11°22'55"E
C386	60.00'	165.00'	S32°13'05"E
C387	65.00'	165.00'	S53°55'15"E
C388	75.00'	165.00'	S78°13'40"E
C389	59.18'	165.00'	N78°28'50"E
C393	63.09'	225.00'	N61°28'30"E
C394A	26.24'	225.00'	N51°20'30"E
C394B	18.85'	12.00'	S87°00'00"E

LEGEND

- PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVE
- EXISTING TREE MASS
- EXISTING TREE OR SHRUB
- EXISTING STRUCTURE (TYP.)
- EXISTING UTILITY EASEMENT
- RIGHT-OF-WAY
- LOT LINE
- STREET CENTER LINE
- CONCRETE CURB
- BUILDING SETBACK LINE
- EASEMENT LINE
- CONCRETE MONUMENT
- IRON PIN
- STOP SIGN / STREET NAME
- OPENSOURCE

DESIGN : ALPHA
DRAWN : MEA
CHECKED : ALPHA
DATE : 05-01-2018
REV : 07-29-2020

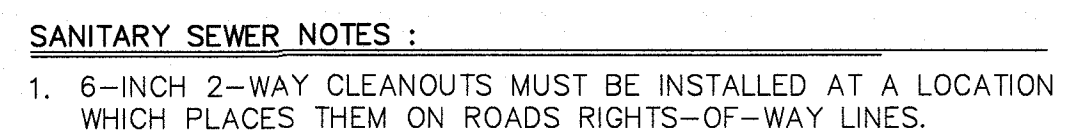
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SUBDIVISION PLAN
STAGE 5, LOTS 361 - 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
WINDING HILLS
A PLANNED RESIDENTIAL DEVELOPMENT
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
314145
SURVEY BOOK :
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SCALE : 1"=50'
DWG FILE : 314145-Subdiv-361-395.dwg
SHEET **5** of **11**

Hill Road S.R. 2010



-NO STRUCTURES SHALL BE BUILT WITHIN THE 100-YEAR FLOOD PLAIN AS PER ARTICLE 7 OF THE UPPER ALLEN TOWNSHIP ZONING ORDINANCE.

-NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY EFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.

- FINISH FLOOR ELEVATIONS ARE SHOWN APPROXIMATE AND ARE ONLY INTENDED TO DEMONSTRATE DRAINAGE AWAY FROM BUILDING STRUCTURES. THE ELEVATIONS ARE ALSO BASED ON A SLAB ON GRADE FOUNDATION, NO BASEMENTS. THE BUILDING DESIGNER SHALL ESTABLISH ACTUAL FINISH FLOOR ELEVATIONS. EMPHASIS MUST BE PLACED ON THE DIFFERENCE BETWEEN FINISH FLOOR ELEVATIONS OF THE LIVING SPACE AND THE GARAGE FLOOR ELEVATION TO INSURE THAT THE DRIVEWAY REMAINS AT A REASONABLE GENTLE SLOPE (1-4%) WHILE MAINTAINING A FINISH FLOOR ELEVATION ABOVE THE EXTERIOR FINISH GRADE AS REQUIRED BY THE TOWNSHIP. REAR YARDS MUST DRAIN AWAY FROM BUILDING WALL.

-GRADING WITHIN THE GRADING EASEMENT MUST BE AS SHOWN ON THIS PLAN. EXISTING CONTOURS ARE BASED ON PREVIOUS MAPPING AND NOT AN ASBUILT SURVEY.

-SIDEWALKS TO BE DEPRESSED AT ALL INTERSECTIONS TO PROVIDE HANDICAP ACCESS PER CURRENT ADA REQUIREMENTS.

—THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.

SINKHOLE REPAIR:

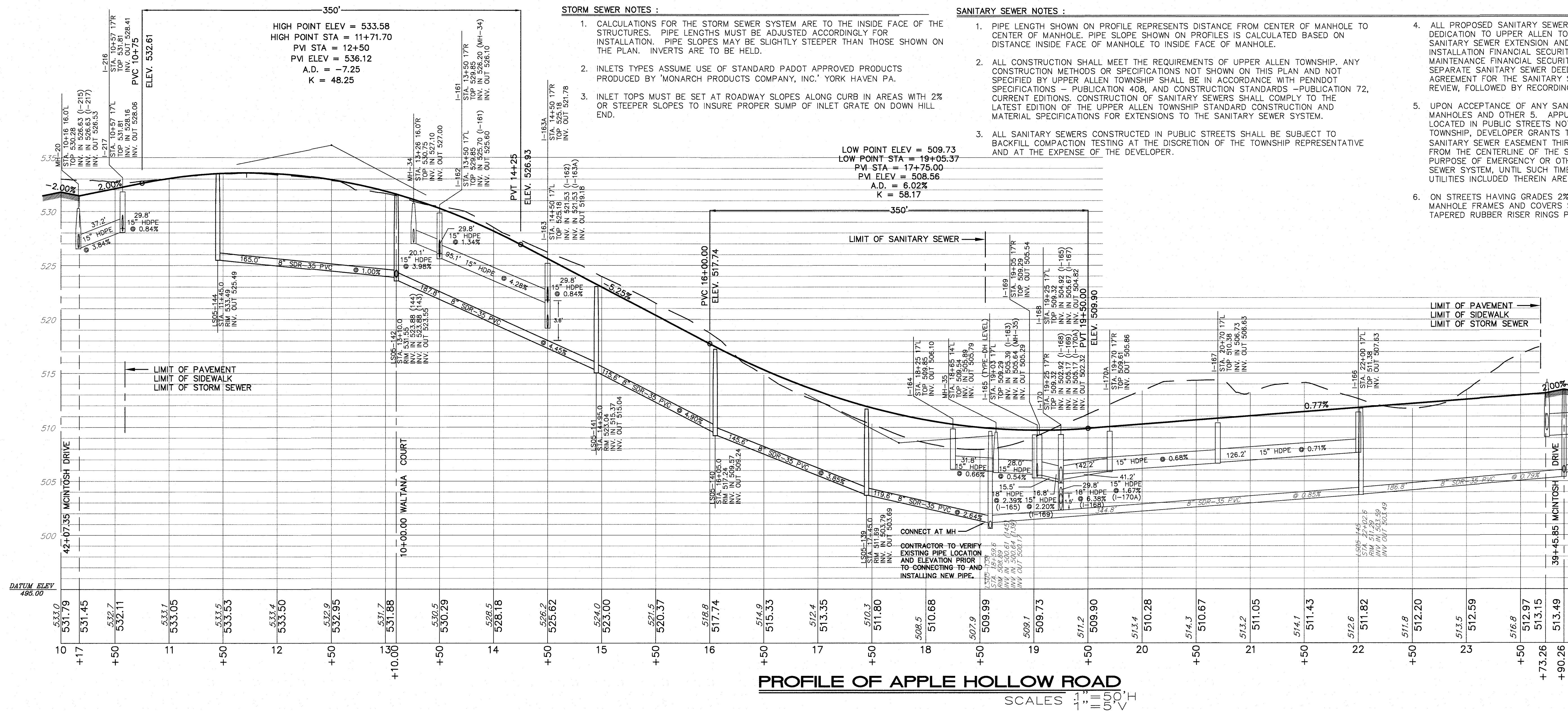
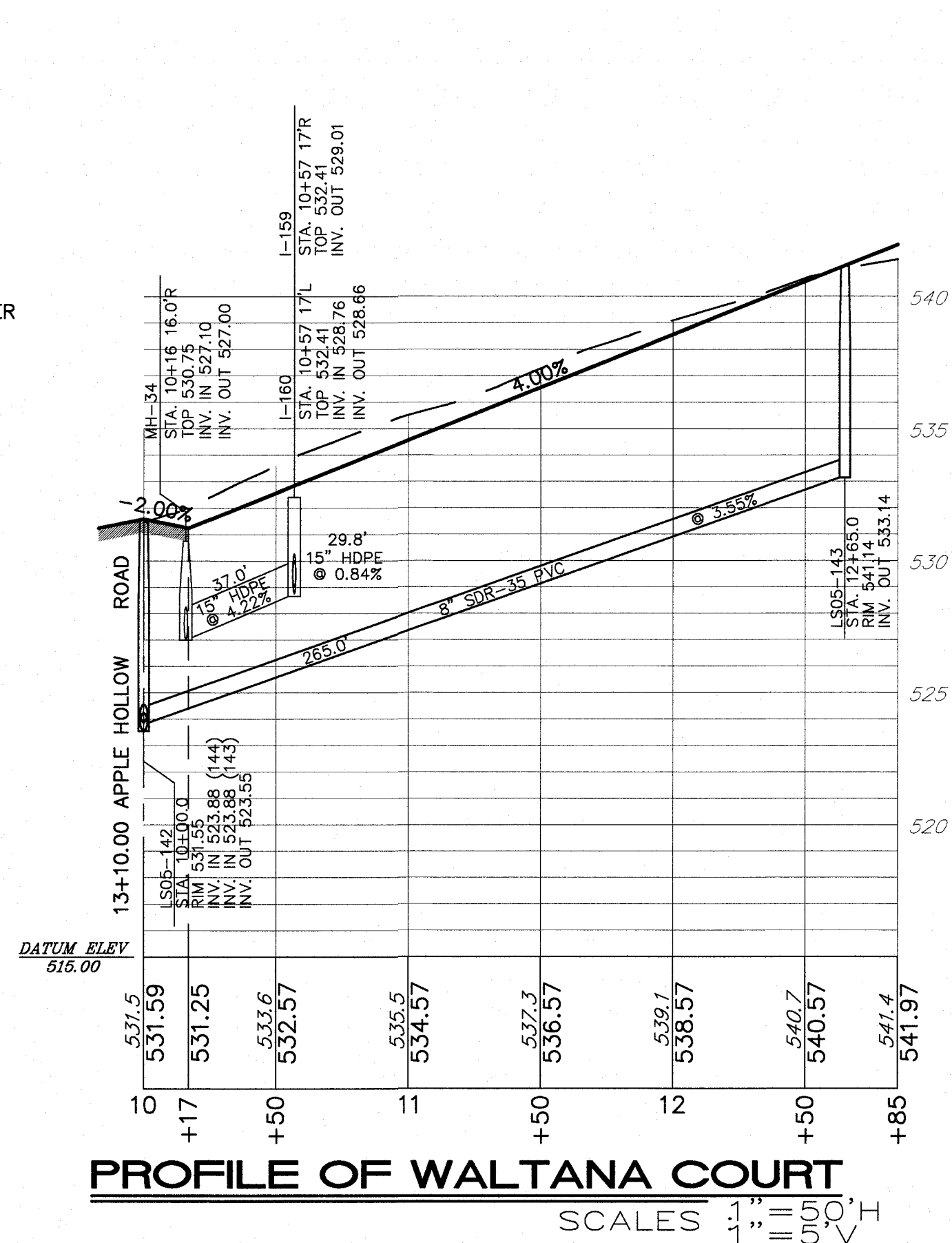
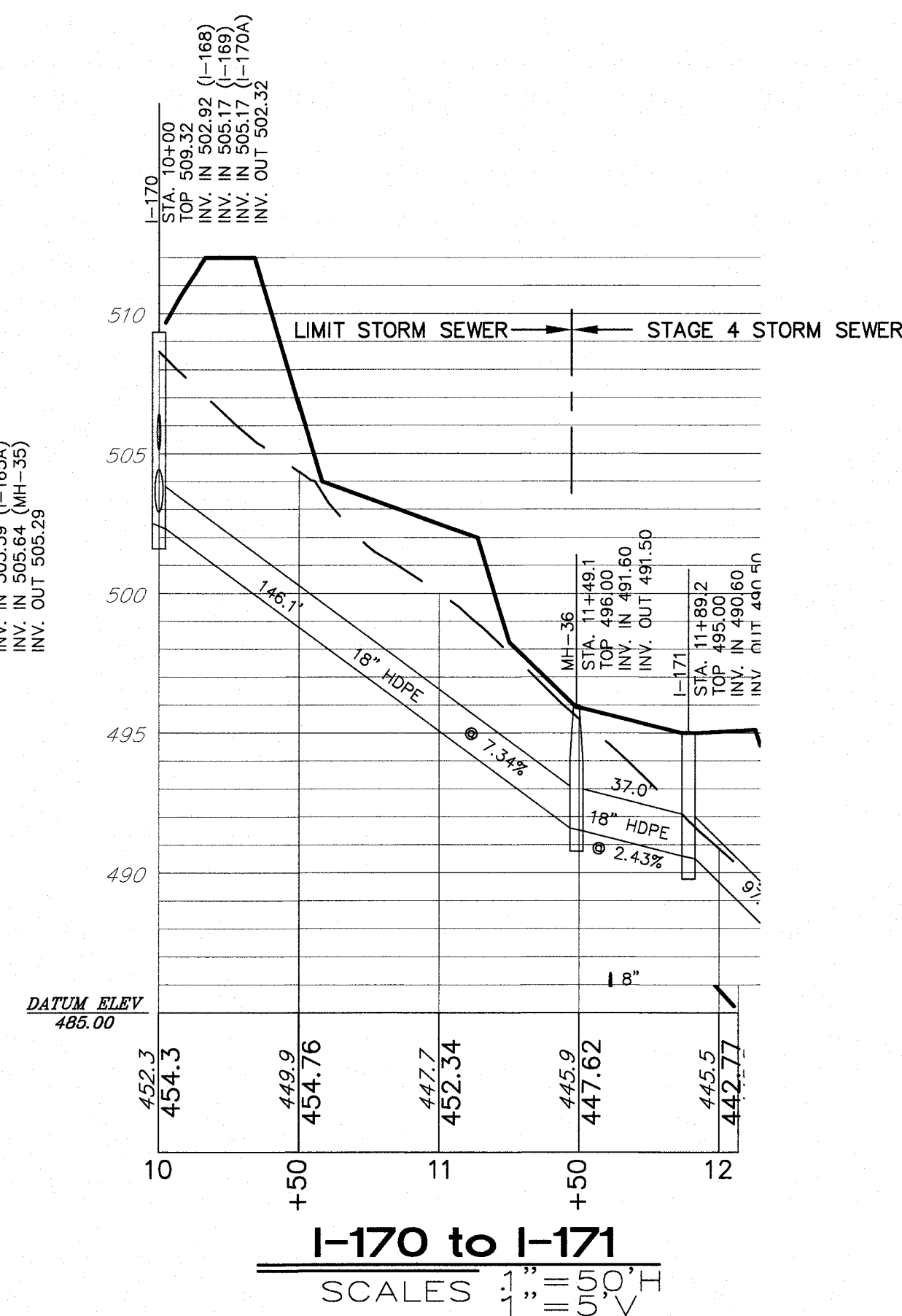
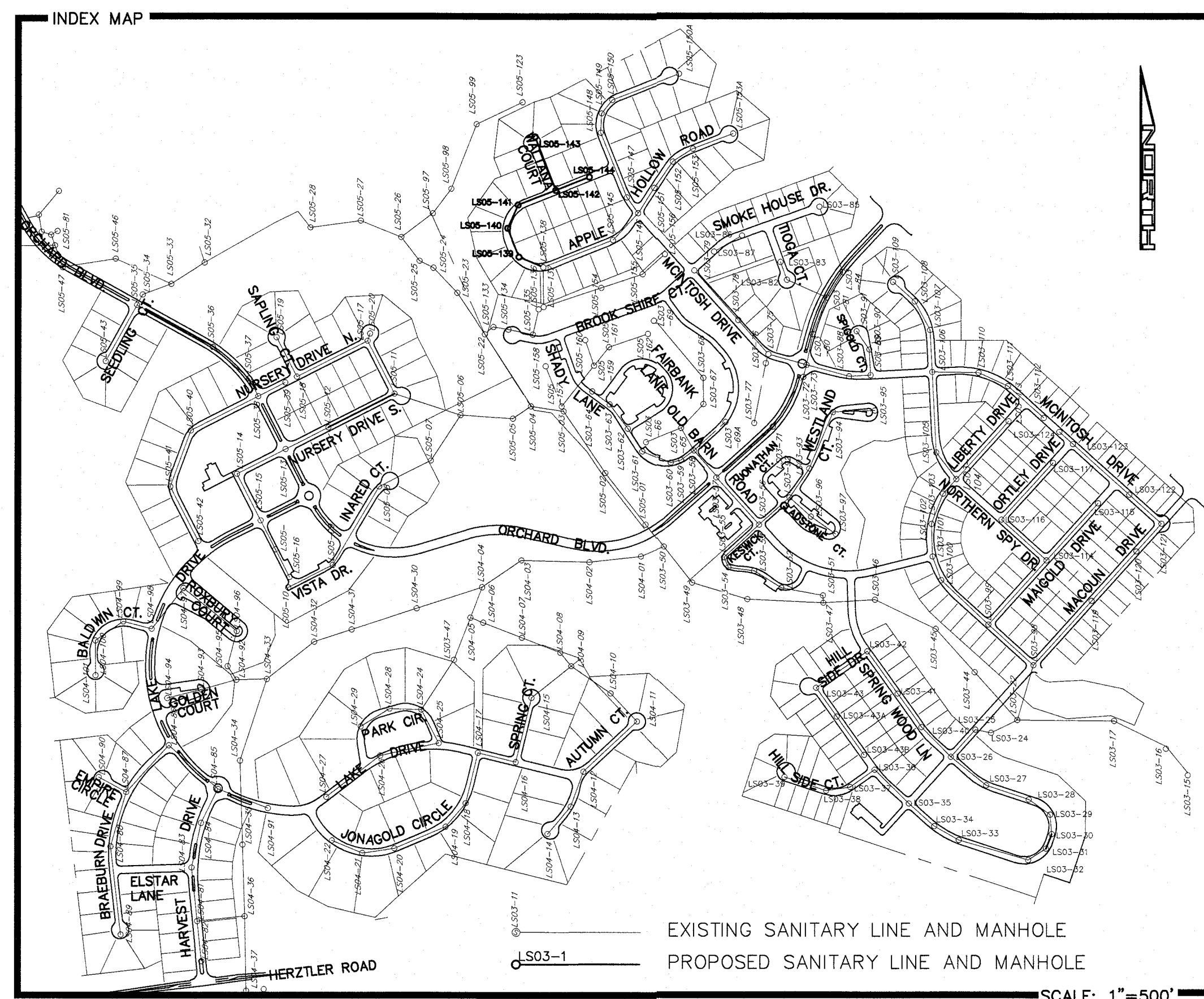
- A. EXCAVATE THE AREA OF THE SINKHOLE UNTIL THE "THROAT" IS LOCATED.
- B. REMOVE ALL LOOSE SOIL OR MATERIAL.
- C. EVALUATE THE THROAT OF THE SINKHOLE FOR STABILITY AND/OR PRESENCE OF ADDITIONAL CAVITIES.
- D. LINE THE SINKHOLE USING CLASS 1 TYPE B NON-WOVEN GEOTEXTILE FILTER FABRIC.
- E. BACKFILL USING R-5 STONE UP TO WITHIN 36 INCHES OF FINISHED GRADE.
- F. FOLD THE GEOTEXTILE FILTER FABRIC OVER ITSELF TO CREATE "BAG".
- G. TOP OFF THE EXCAVATION WITH APPROXIMATELY 24 INCHES OF 2A COARSE AGGREGATE TO APPROXIMATELY 12 INCHES BELOW FINAL GRADE.
- H. COMPLETE BACKFILLING USING CONSISTENT WITH WHERE THE SINKHOLE IS LOCATED.

DIFFERENT METHODS OF REMEDIATING SINKHOLES MAY BE REQUIRED BASED UPON THE LOCATION, CONDITIONS AND REQUIREMENTS OF THE SURROUNDING AREAS. REMEDIATION TO BE AS DIRECTED BY TOWNSHIP ENGINEER.

METHOD REQUIRED BY TOWNSHIP



- NOTES:
1. GRADE SIDE AND REAR YARDS TO DIRECT RUNOFF ALONG THE EDGE OF THE YARDS. DRAINAGE SHALL NOT BE RESTRICTED WITHIN SIDE AND REAR YARDS.
 2. RUNOFF FROM UPHILL LOT SHALL NOT TRAVERSE MORE THAN TWO ADJACENT LOTS. GRADE SIDE YARDS OF THE DOWNHILL LOT IN A MANNER TO CONVEY RUNOFF FROM THE REAR YARD TO THE STREET.

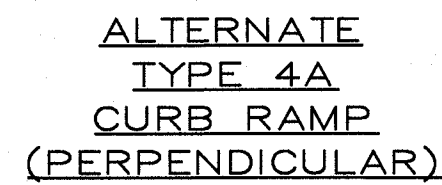


- STORM SEWER NOTES :

- SANITARY SEWER NOTES :



-
- Figure 10: Typical Cross Section of a Pedestrian Ramp. The diagram illustrates the cross-section of a ramp with the following specifications:
- Sidewalk Width:** 1525 (5'-0") MIN (SEE NOTE 20, SHEET 1)
 - Non-Walk Surface:** 610 (24")
 - Plain Cement Concrete Depressed Curb**
 - Ramp Width:** 1220 (4'-0") MIN
 - Ramp Slope:** 8.33% MAX SLOPE
 - Rounded Concrete Surface:** 610 (24")
 - Detectable Warning Surface:** (TYP)
 - Pedestrian Push Button:** (WHERE APPLICABLE)
 - Slope:** ZERO \pm 2.00% (TYP)
 - Section:** 200 (8') (TYP)



- TYPE "M" INLET TOP
NTS



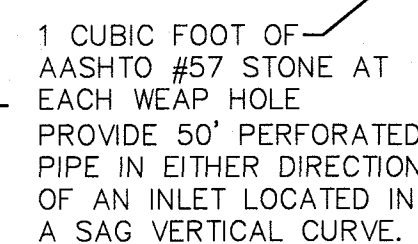
SECTION B-B



CURB RAMPS

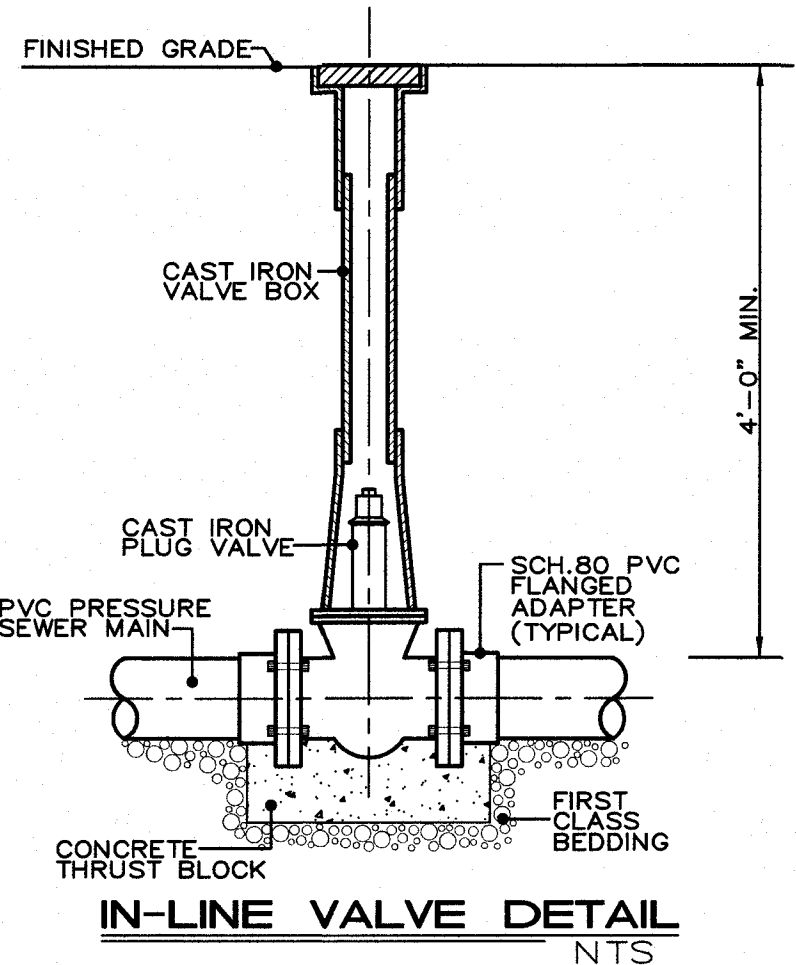
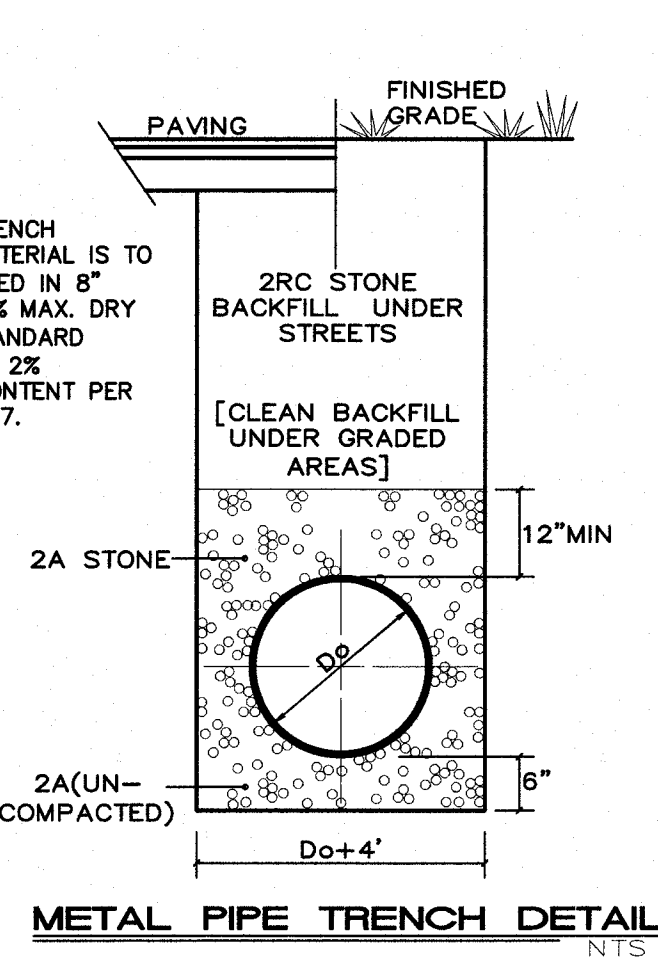
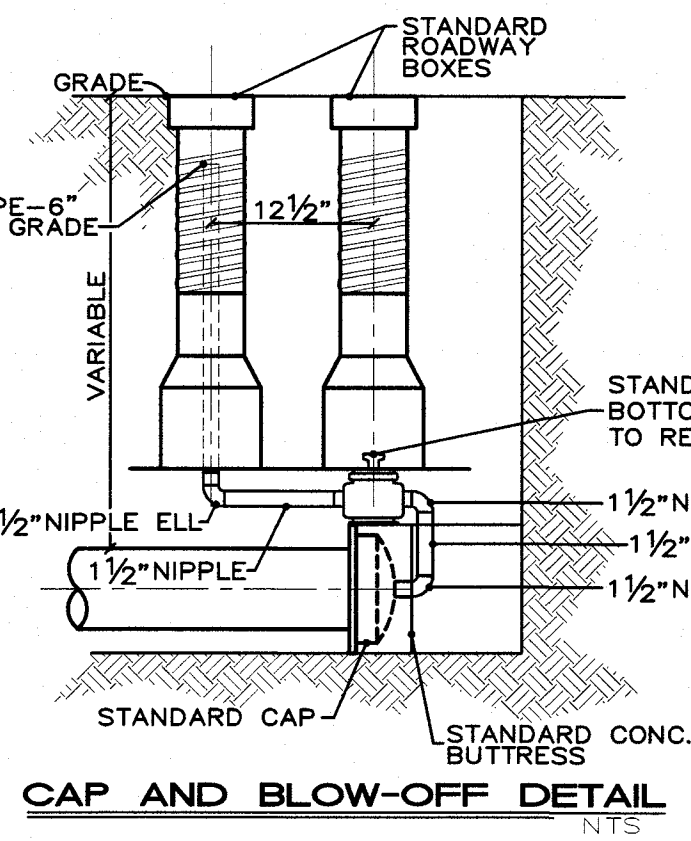
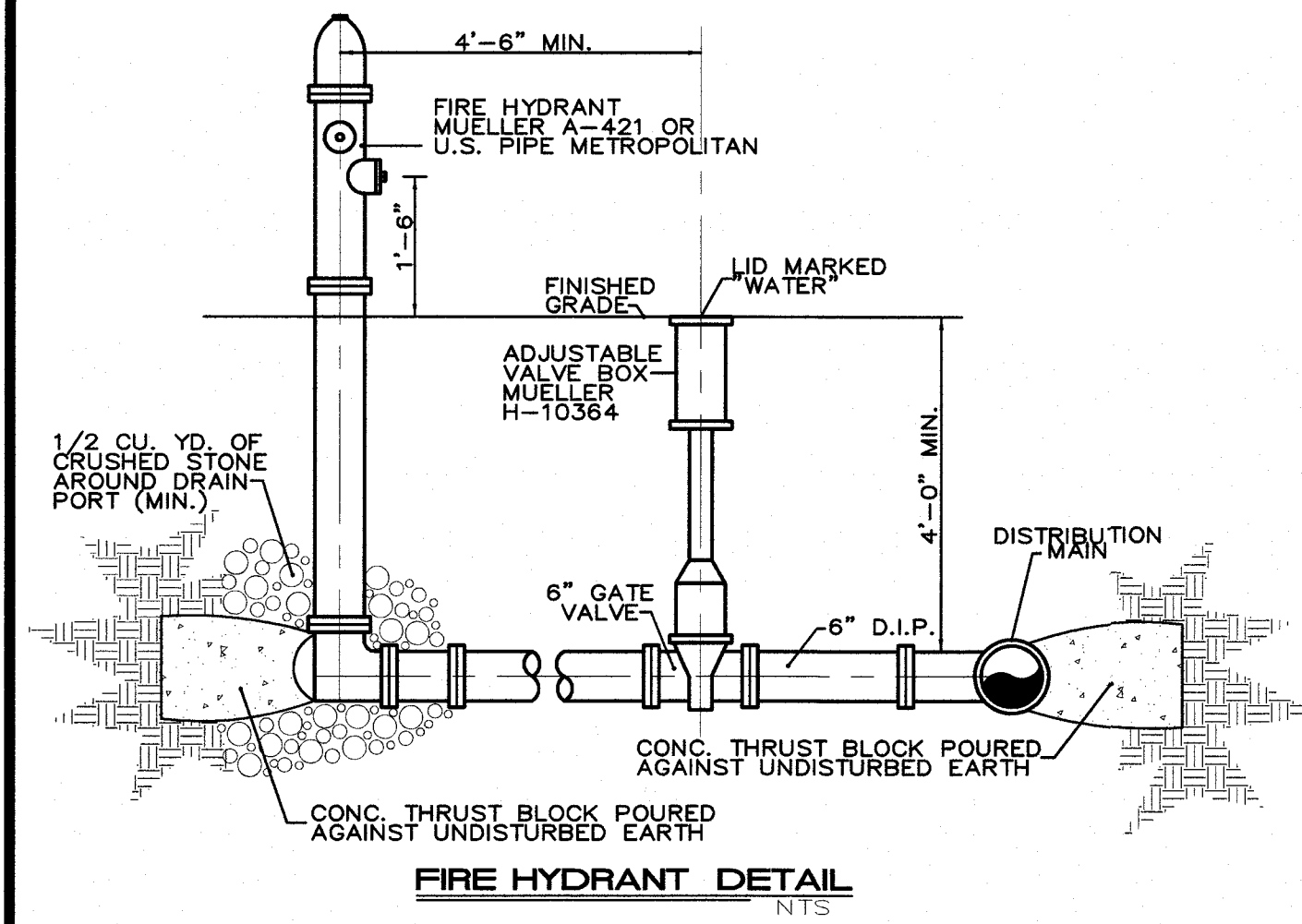


INLET BOXES



INLET SCHEDULE									
INLET	STA.	TOP	BOX	GRADE	INLV. IN	INLV. IN	INLV. IN	INLV. OUT	
1-159	10+57	532.41	STD	C					529.01
1-160	10+57	532.41	STD	C	528.76				528.66
1-161	13+50	528.85	STD	C	526.20				526.60
1-162	14+50	528.85	STD	C	525.70				525.60
1-163A	14+50	525.18	STD	C					521.78
1-163	14+50	525.18	STD	C	521.53	521.53			519.18
1-164	18+25	509.85	STD	C					506.10
1-165A	11+40	510.07	STD	M	506.17				506.07
1-166	19+03	509.61	STD	C	505.39	505.64			506.29
1-166	22+00	511.38	STD	C					507.63
1-167	20+70	510.38	STD	C	506.73				506.63
1-168	19+25	509.32	STD	C	504.92	502.67			504.82
1-169	19+05	509.29	STD	C					505.54
1-170A	19+70	509.61	STD	C					505.86
1-170	19+75	509.32	STD	C	502.92	505.17	505.17		502.32

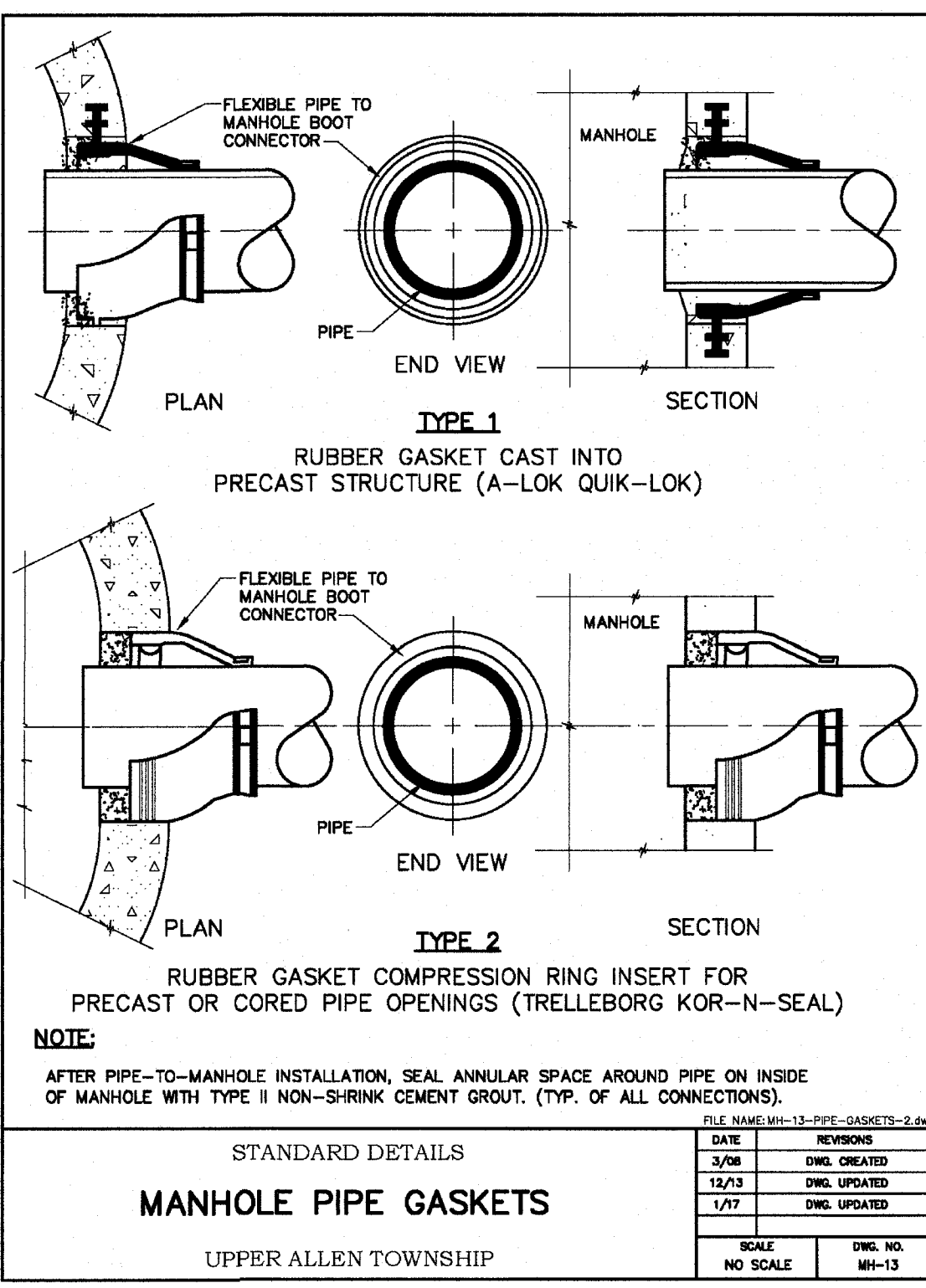
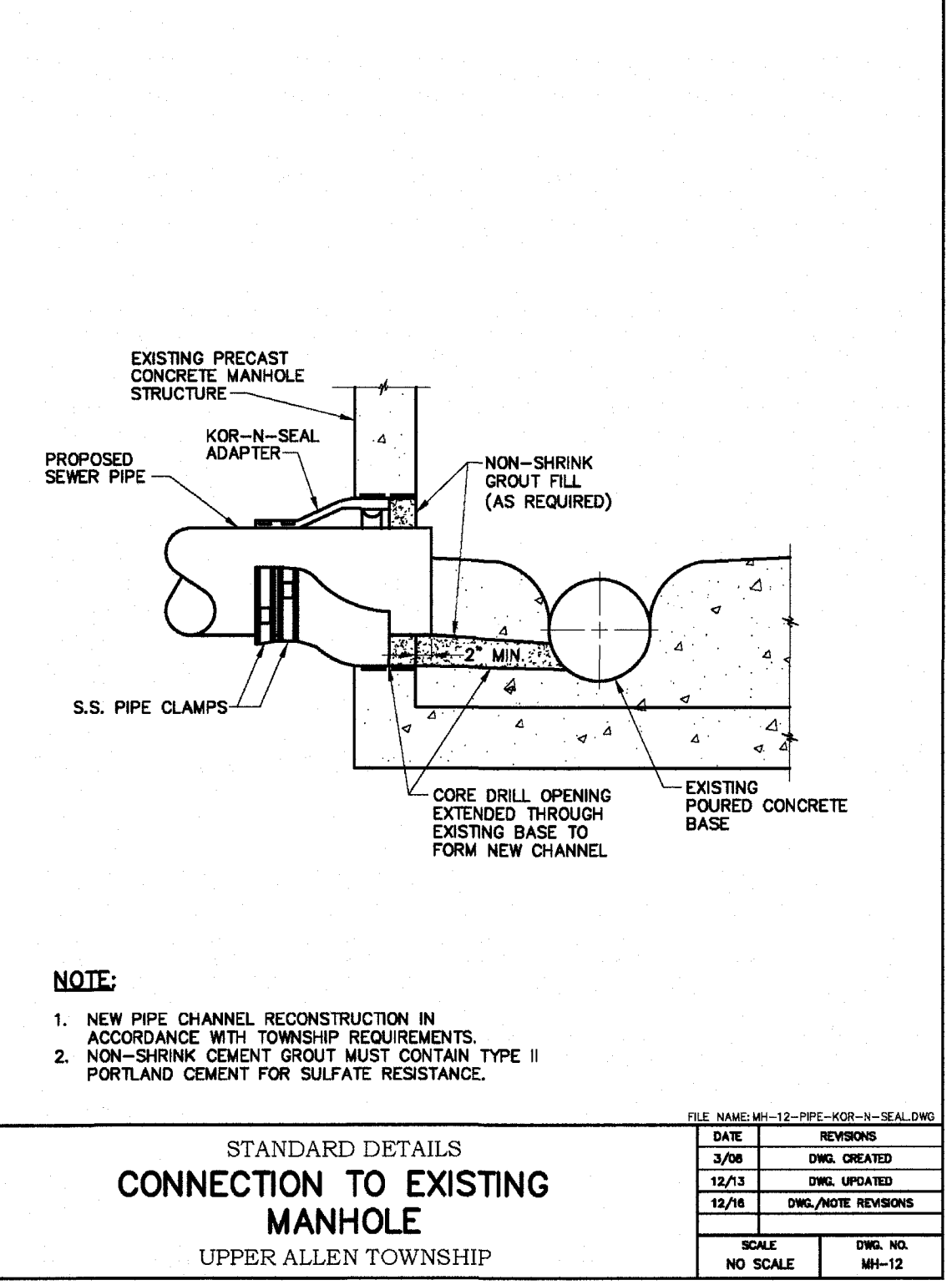
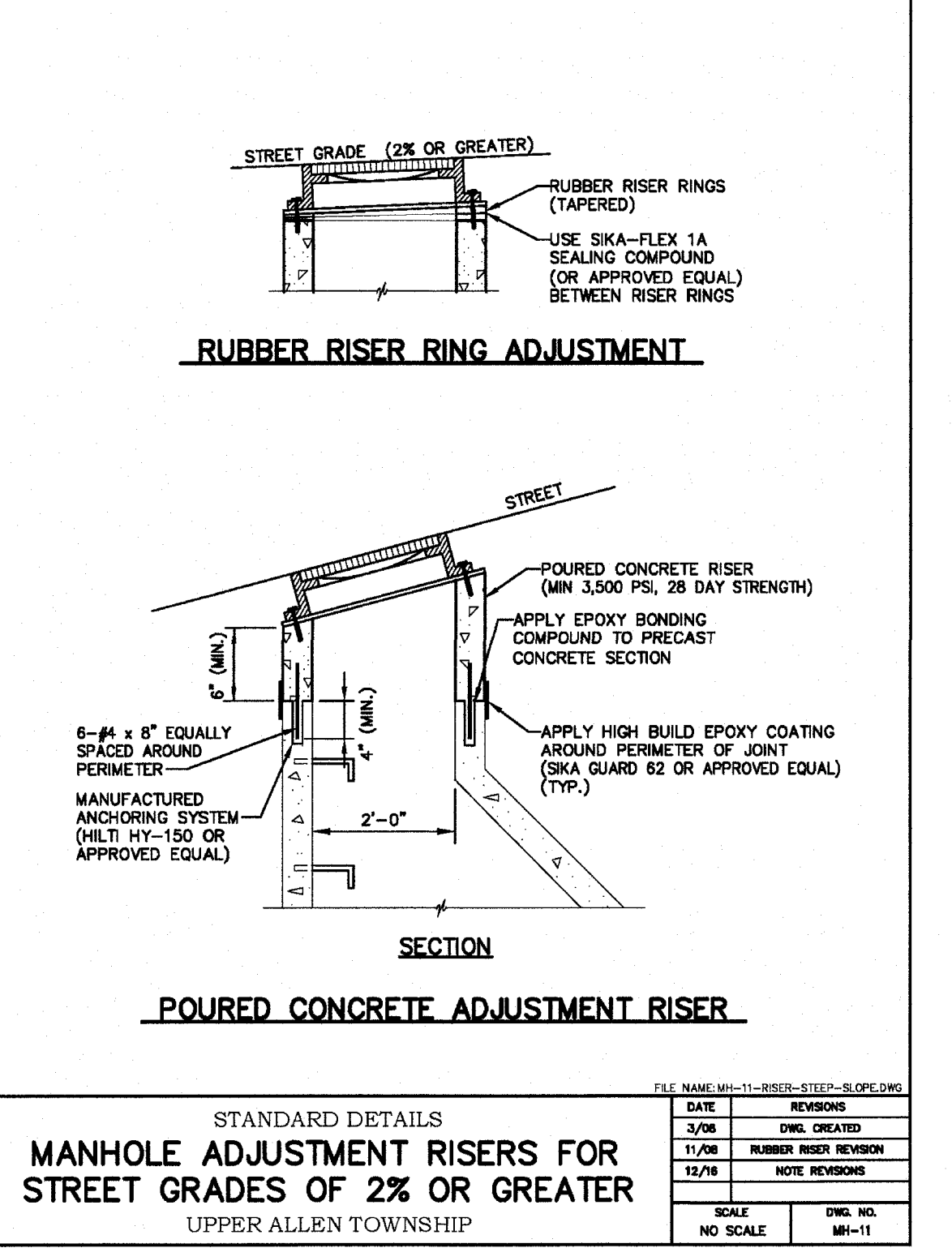
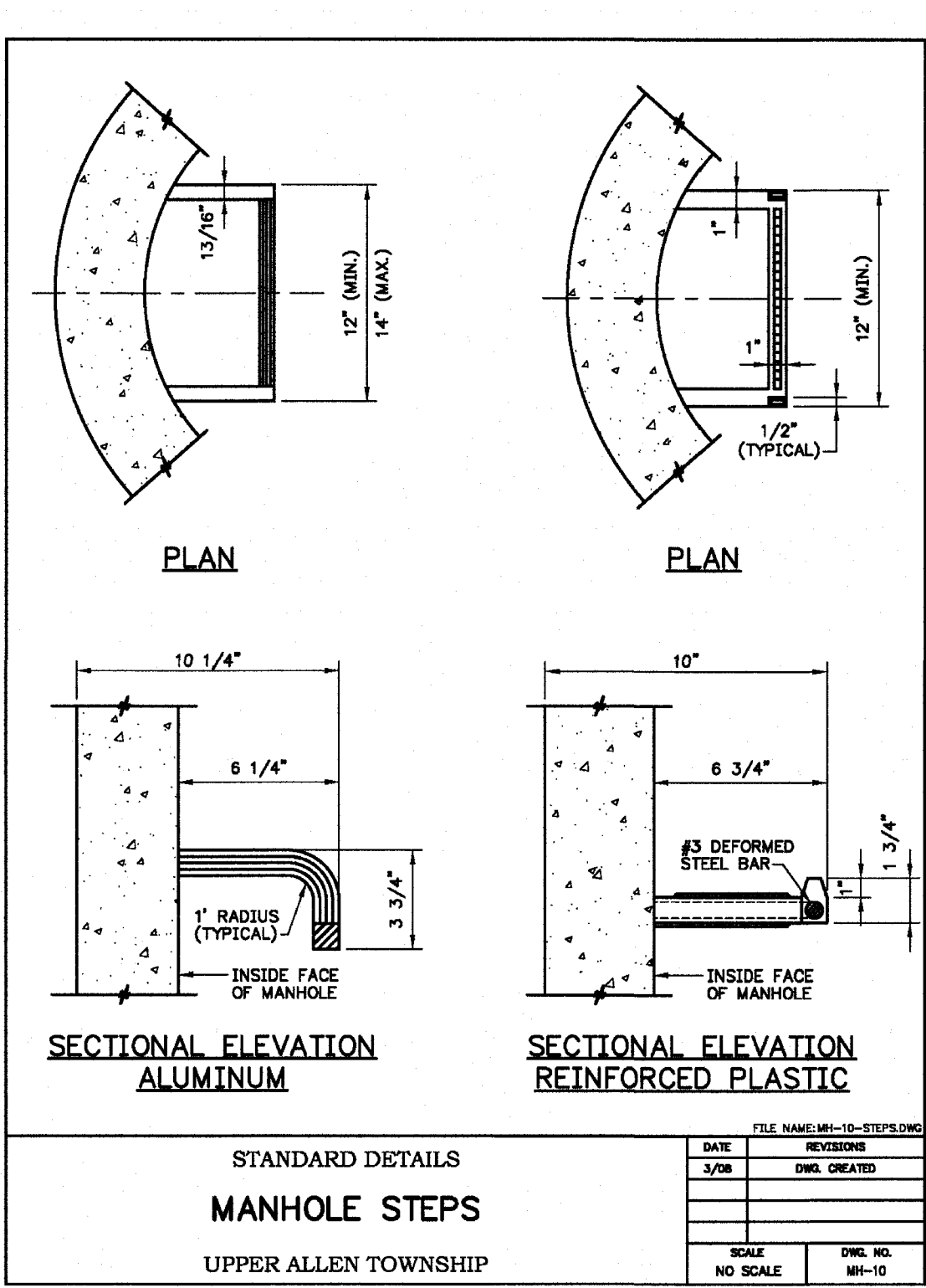
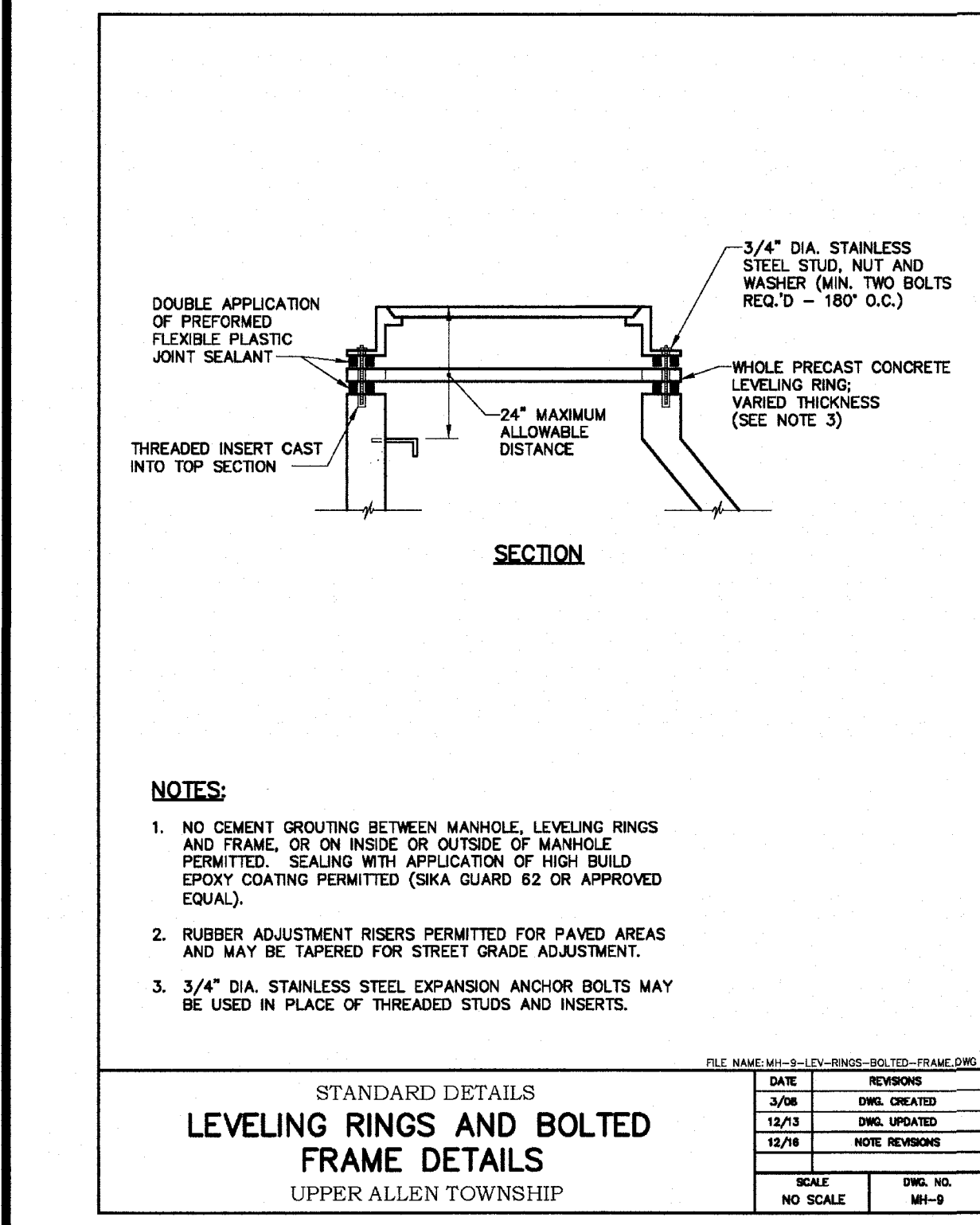
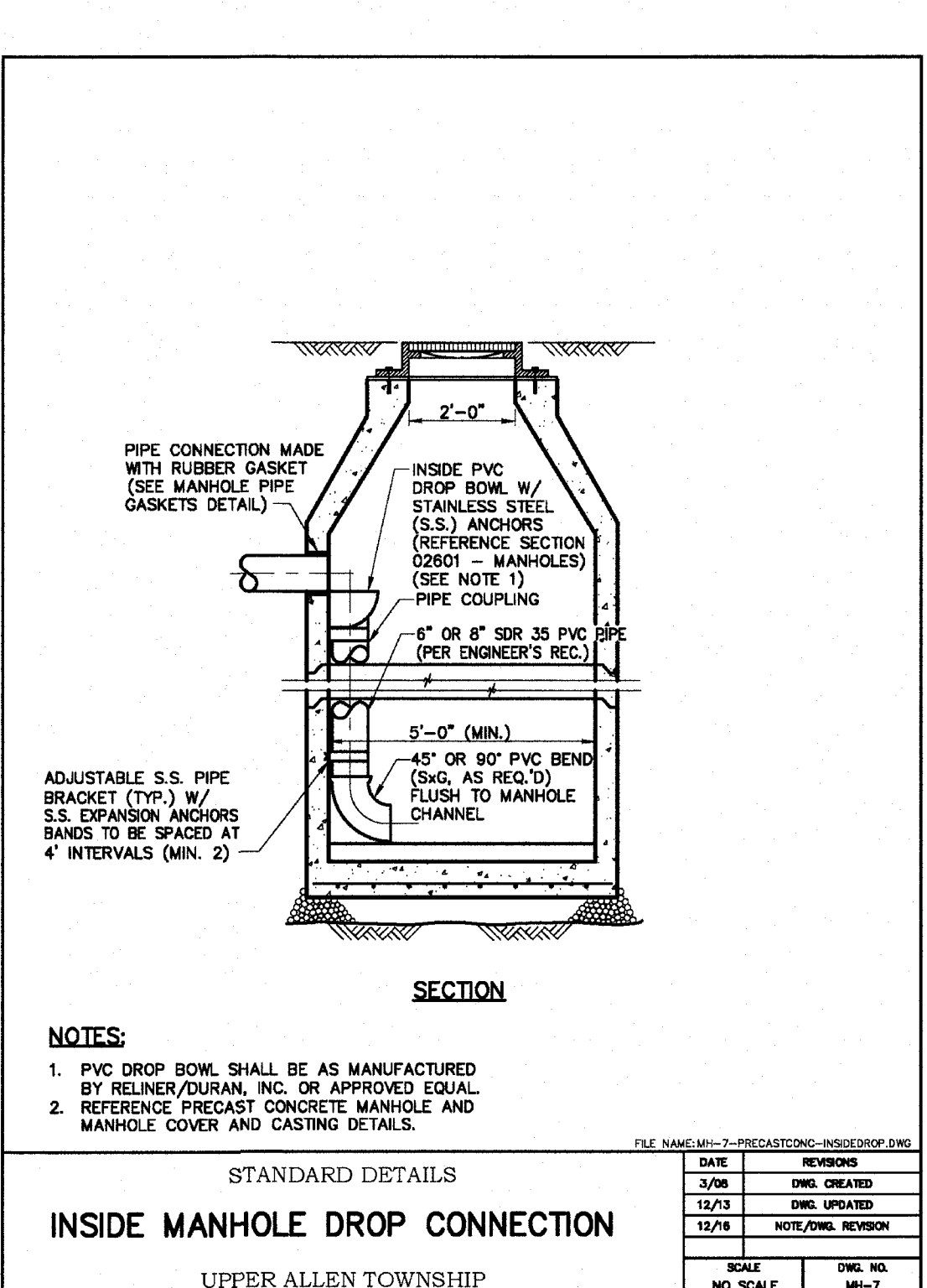
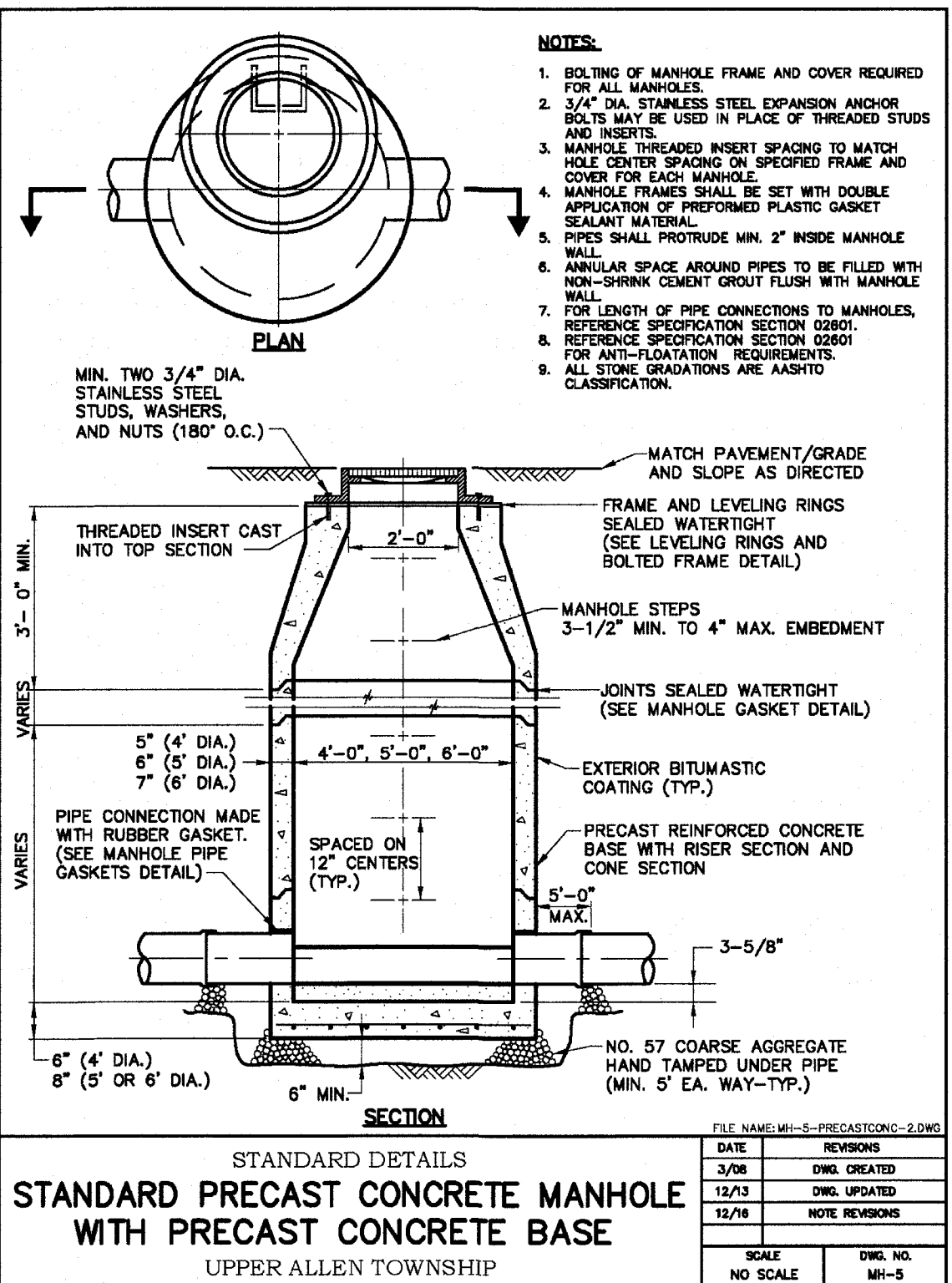
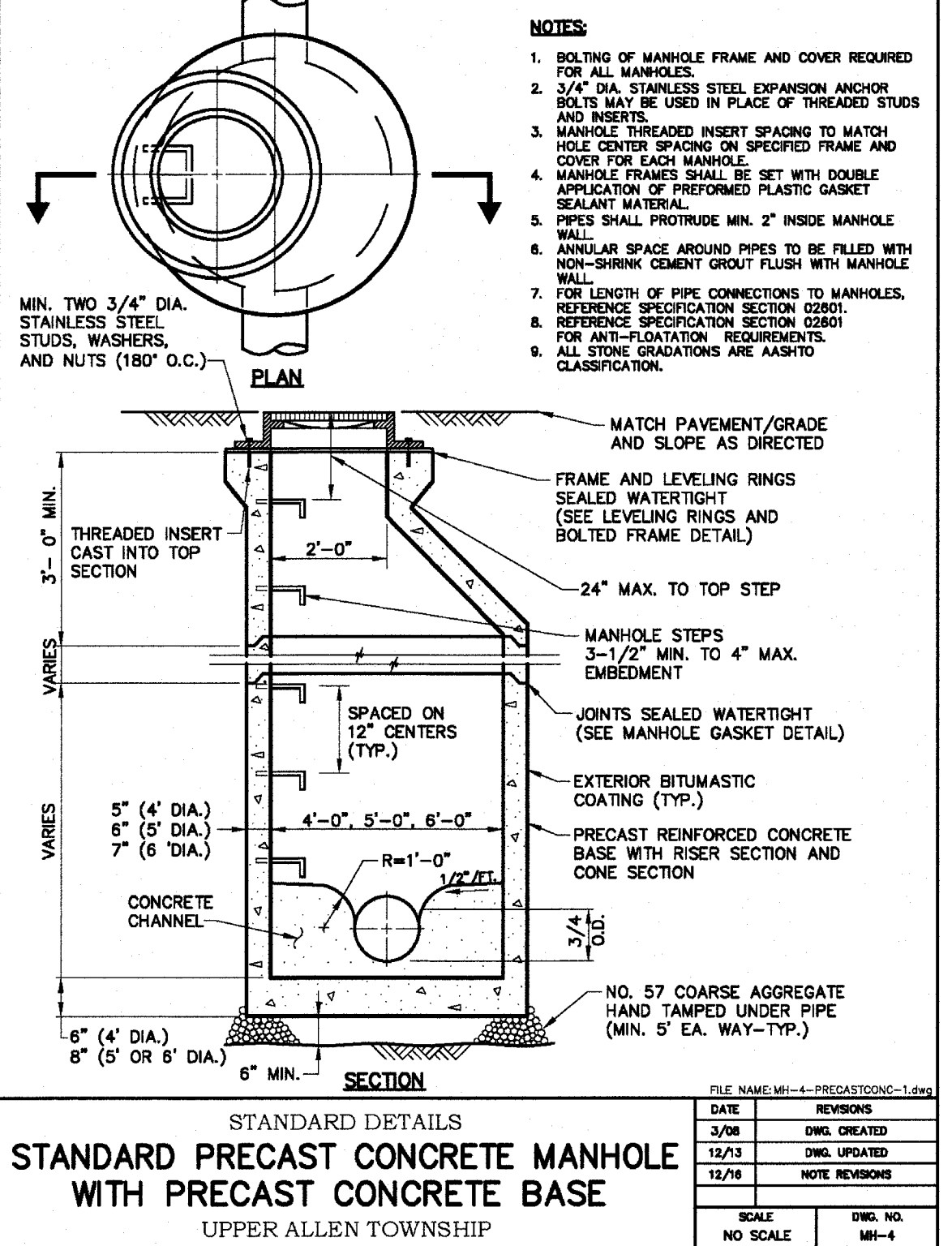
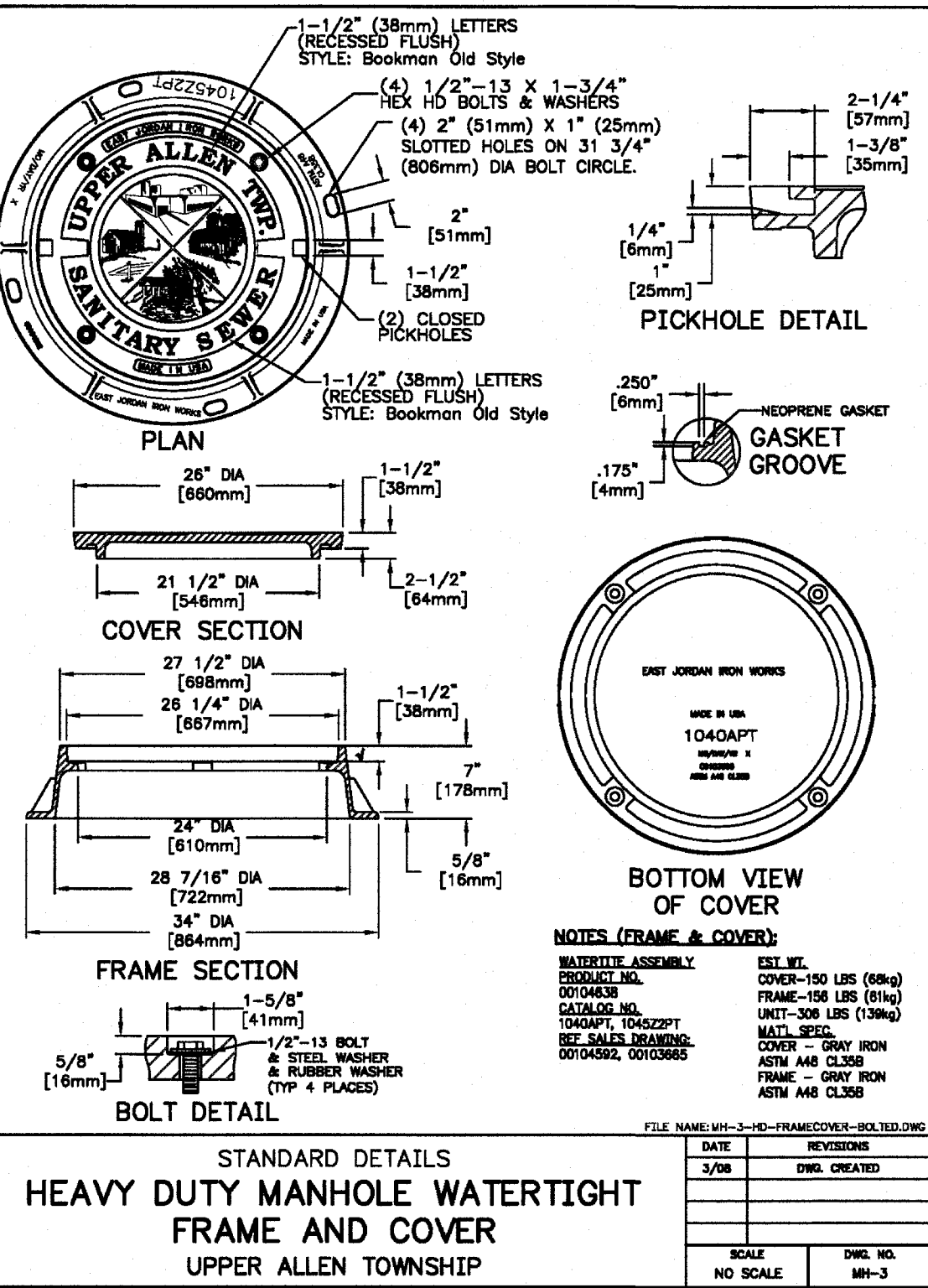
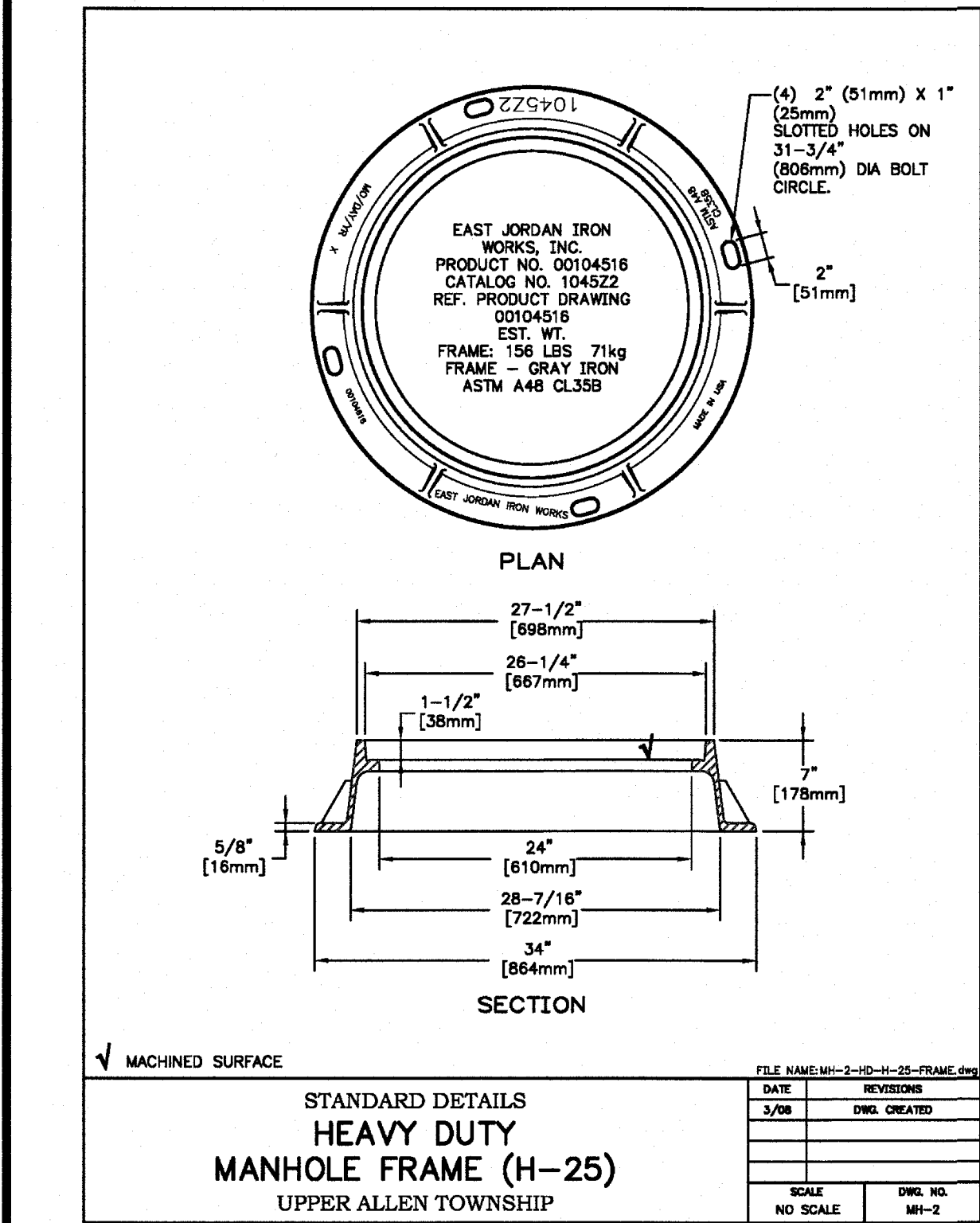
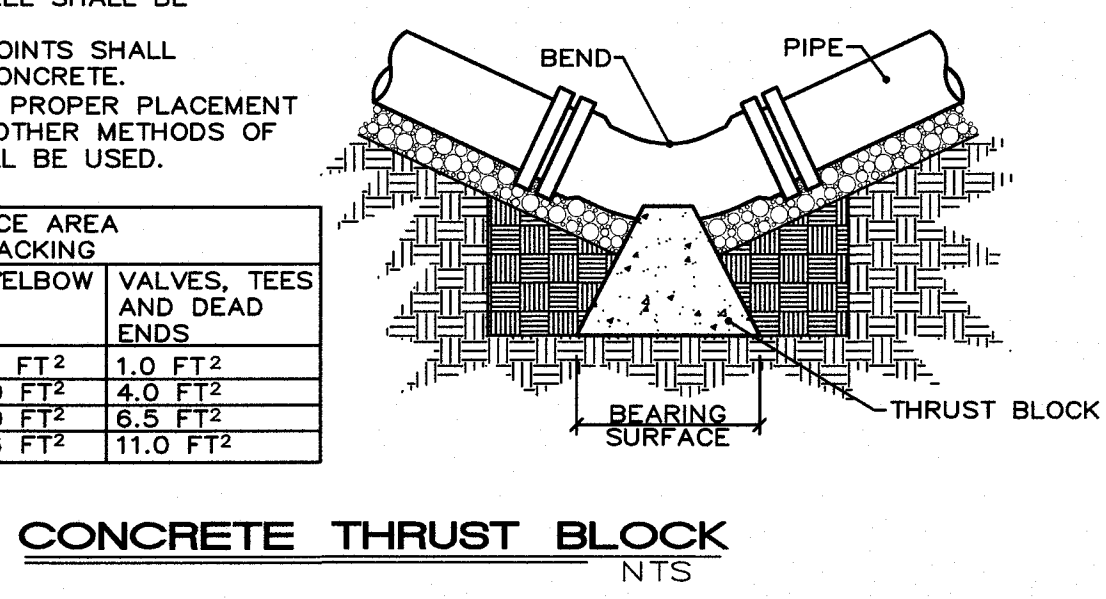




NOTES:

1. ALL CONCRETE SHALL BE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (MIN.).
2. ALL REINFORCED STEEL SHALL BE DEFORMED BARS.
3. NO COUPLINGS OR JOINTS SHALL BE COVERED WITH CONCRETE.
4. IF SPACE RESTRICTS PROPER PLACEMENT OF THRUST BLOCK, OTHER METHODS OF JOINT RESTRAINT WILL BE USED.

PIPE SIZE (IN)	TOTAL SURFACE AREA OF THRUST BACKING 90° ELBOW	45° ELBOW	VALVES, TEES AND DEAD ENDS
2"	1.0 FT ²	1.0 FT ²	1.0 FT ²
4"	4.5 FT ²	3.0 FT ²	4.0 FT ²
6"	9.5 FT ²	6.0 FT ²	6.5 FT ²
10"	14.0 FT ²	7.6 FT ²	11.0 FT ²



DESIGN : ALPHA
DRAWN : MEA
CHECKED : ALPHA
DATE : 05-01-2018
REV : 07-02-2020

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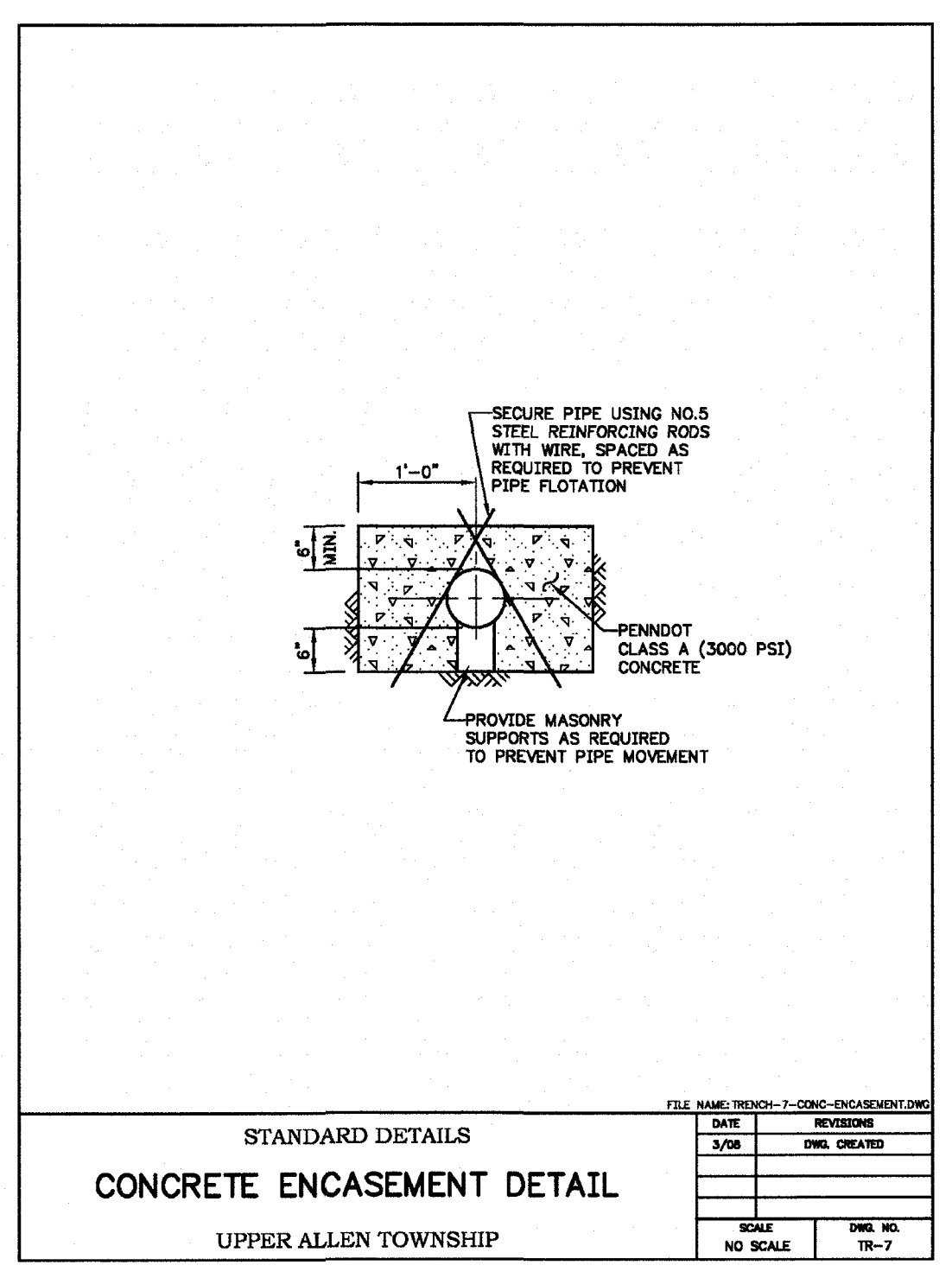
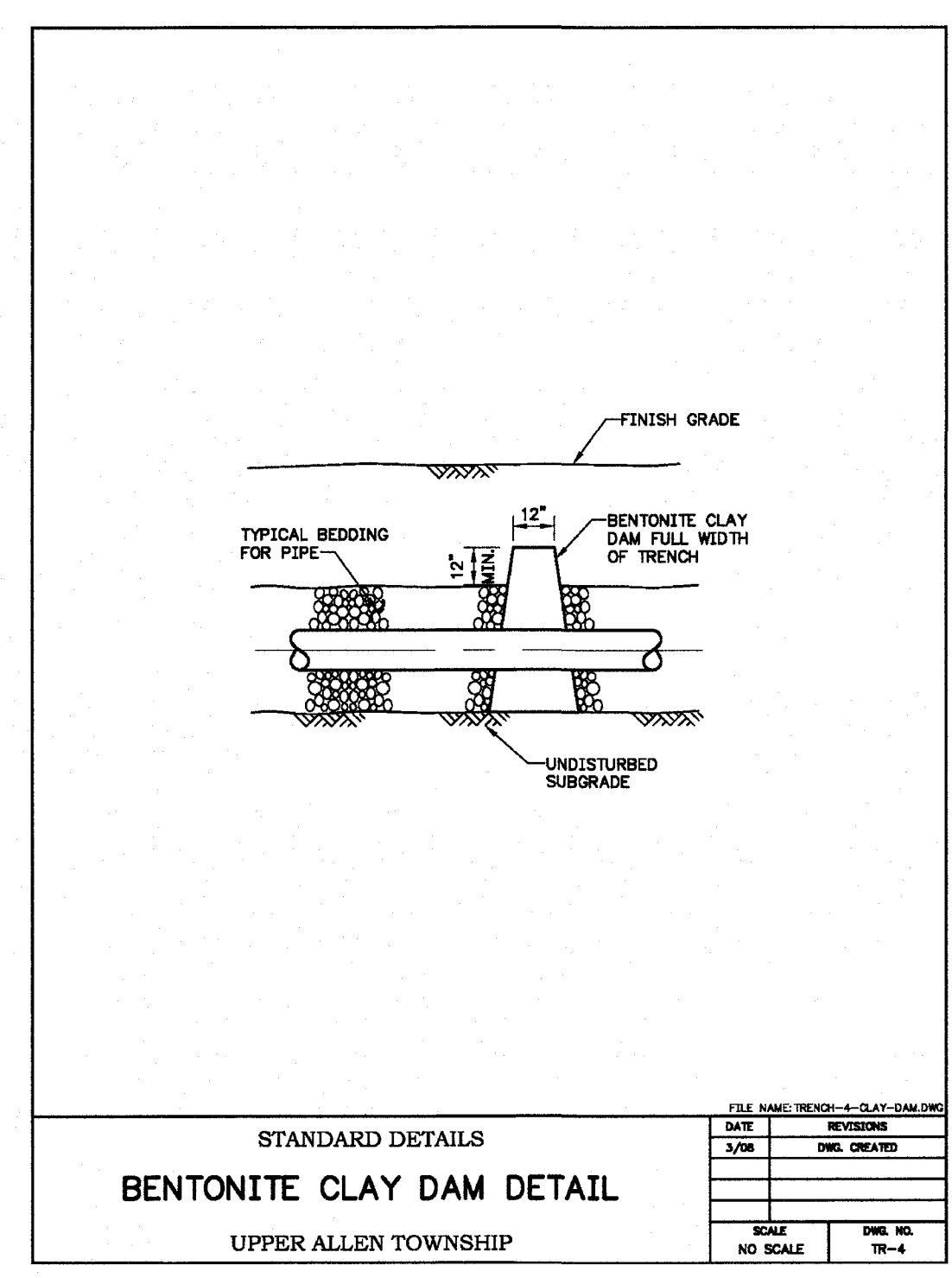
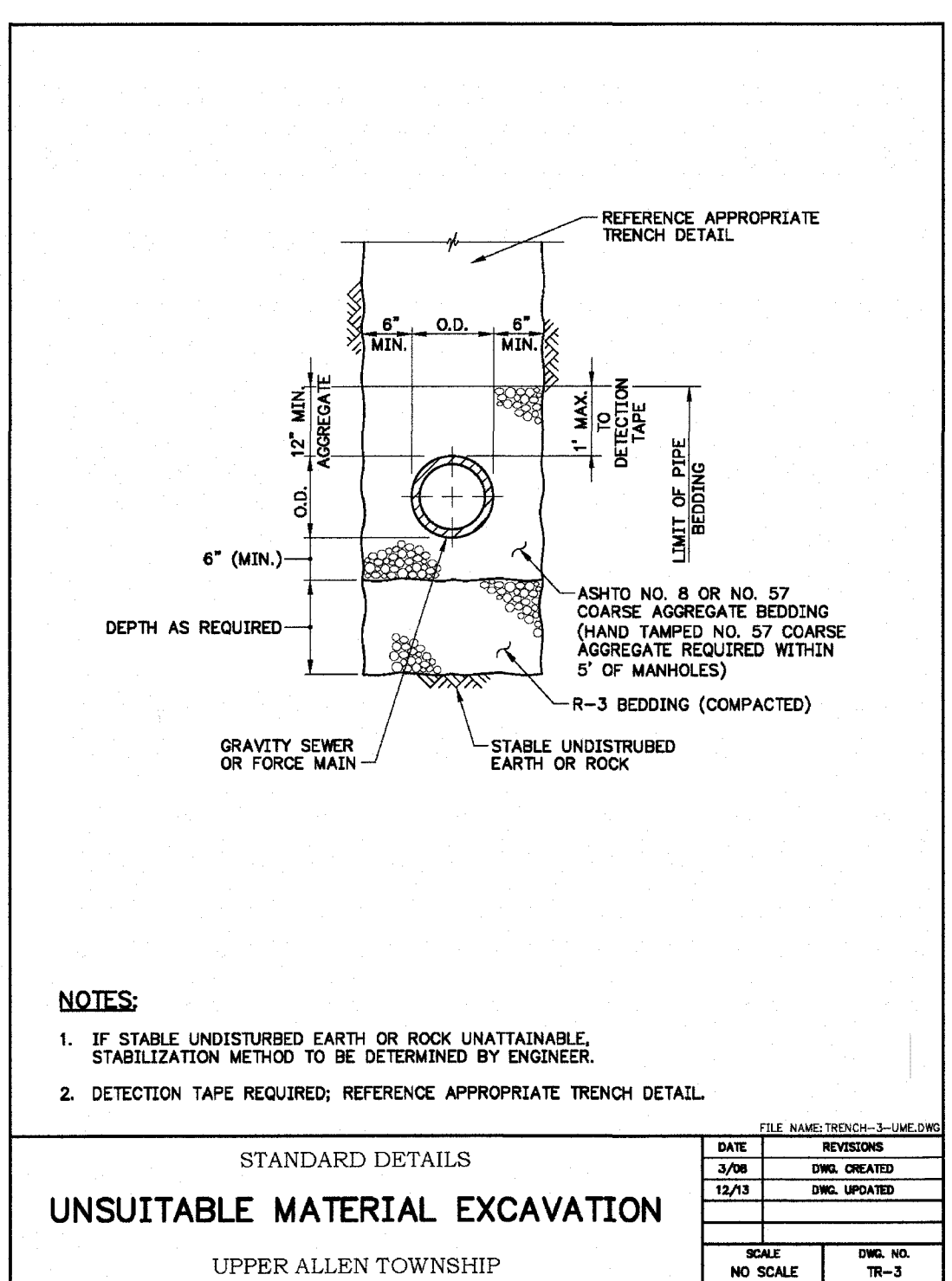
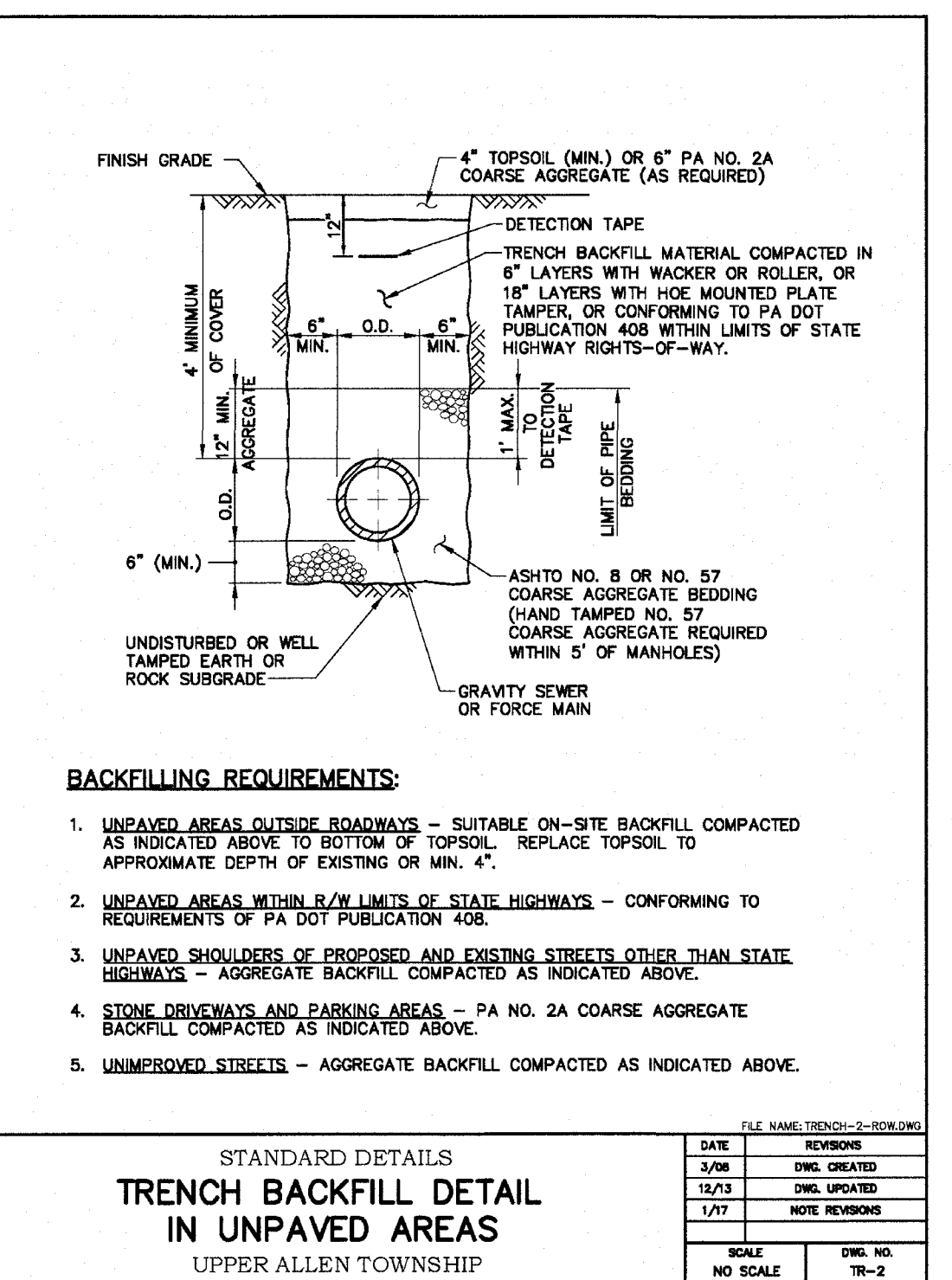
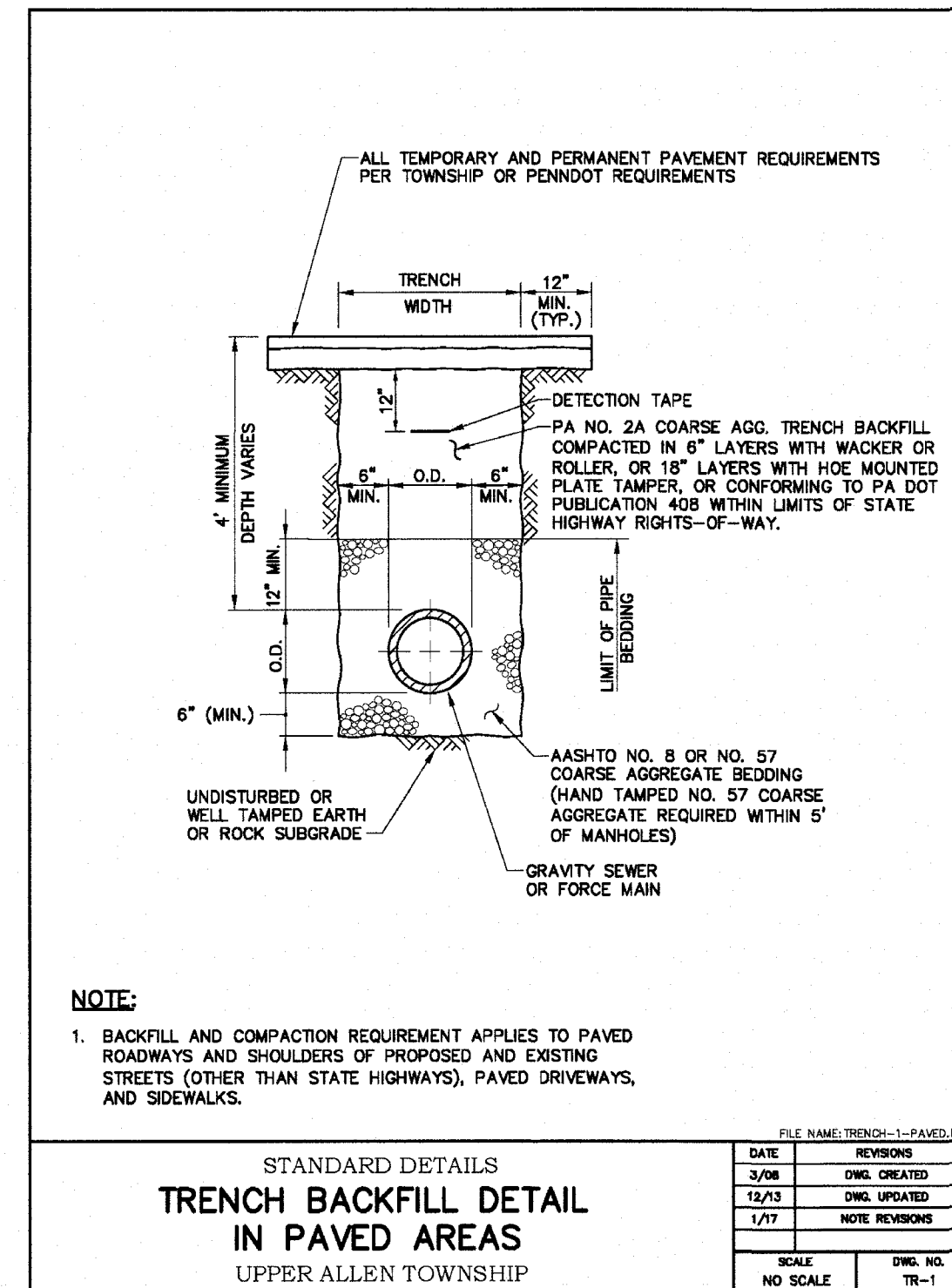
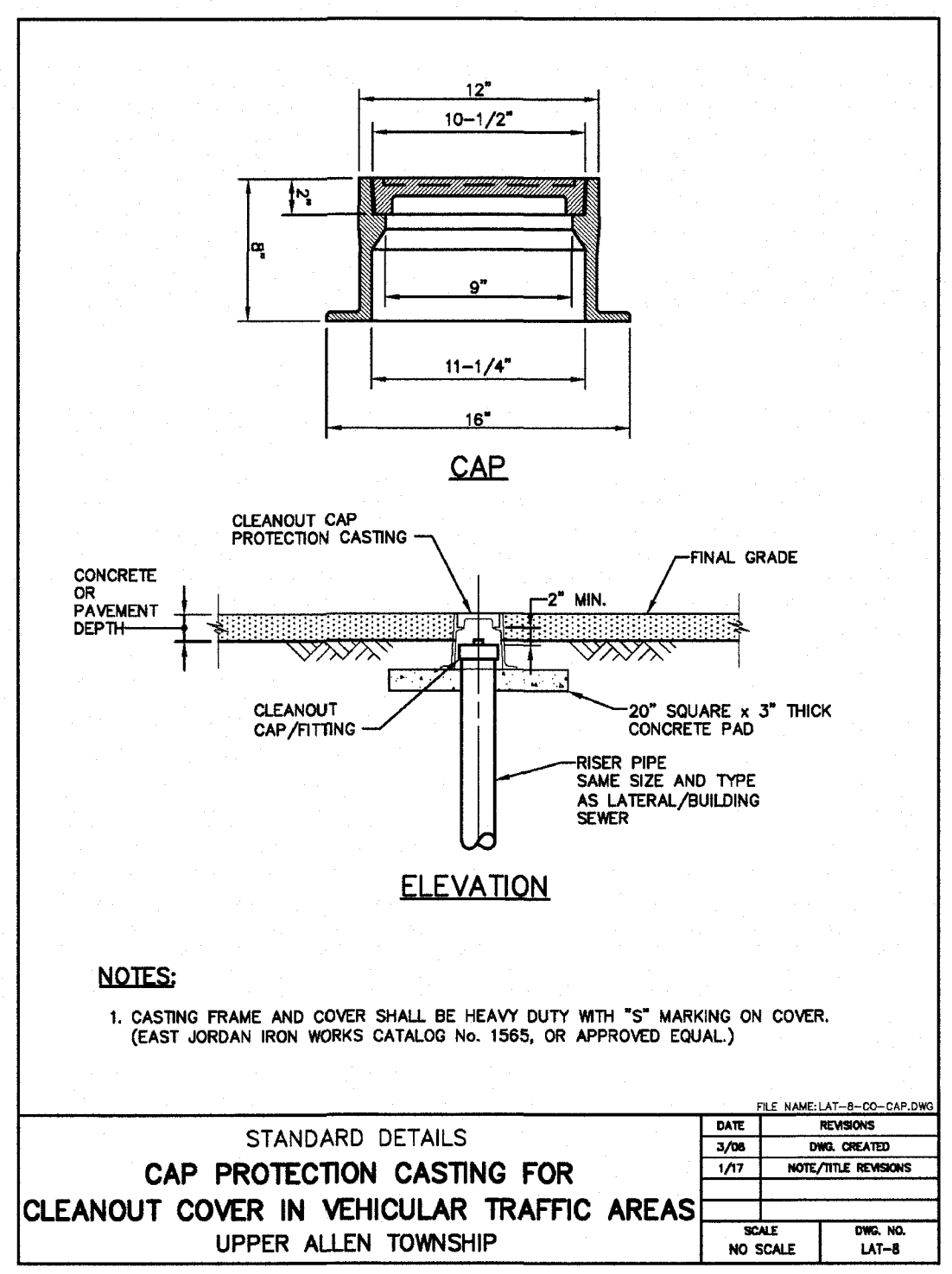
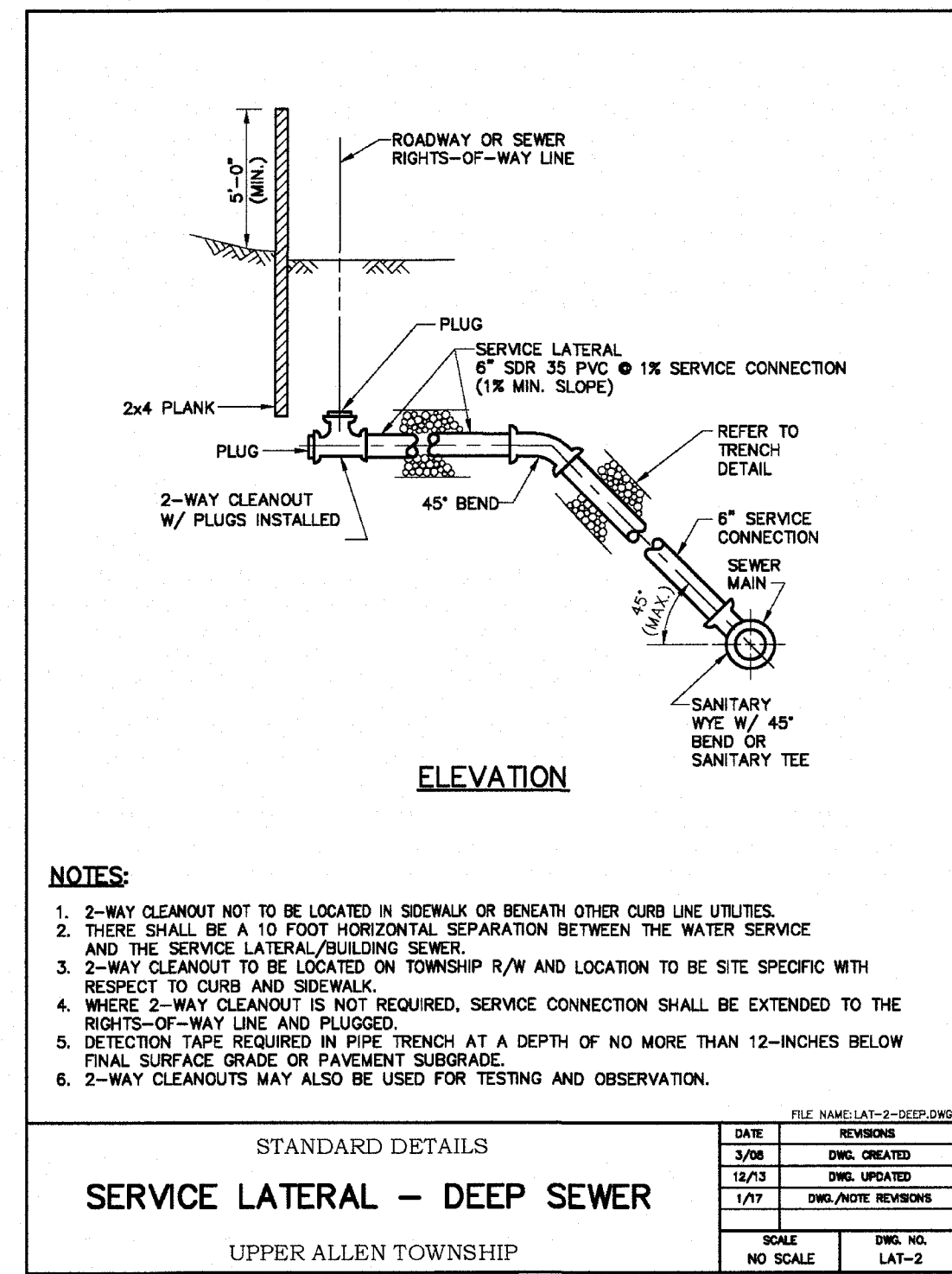
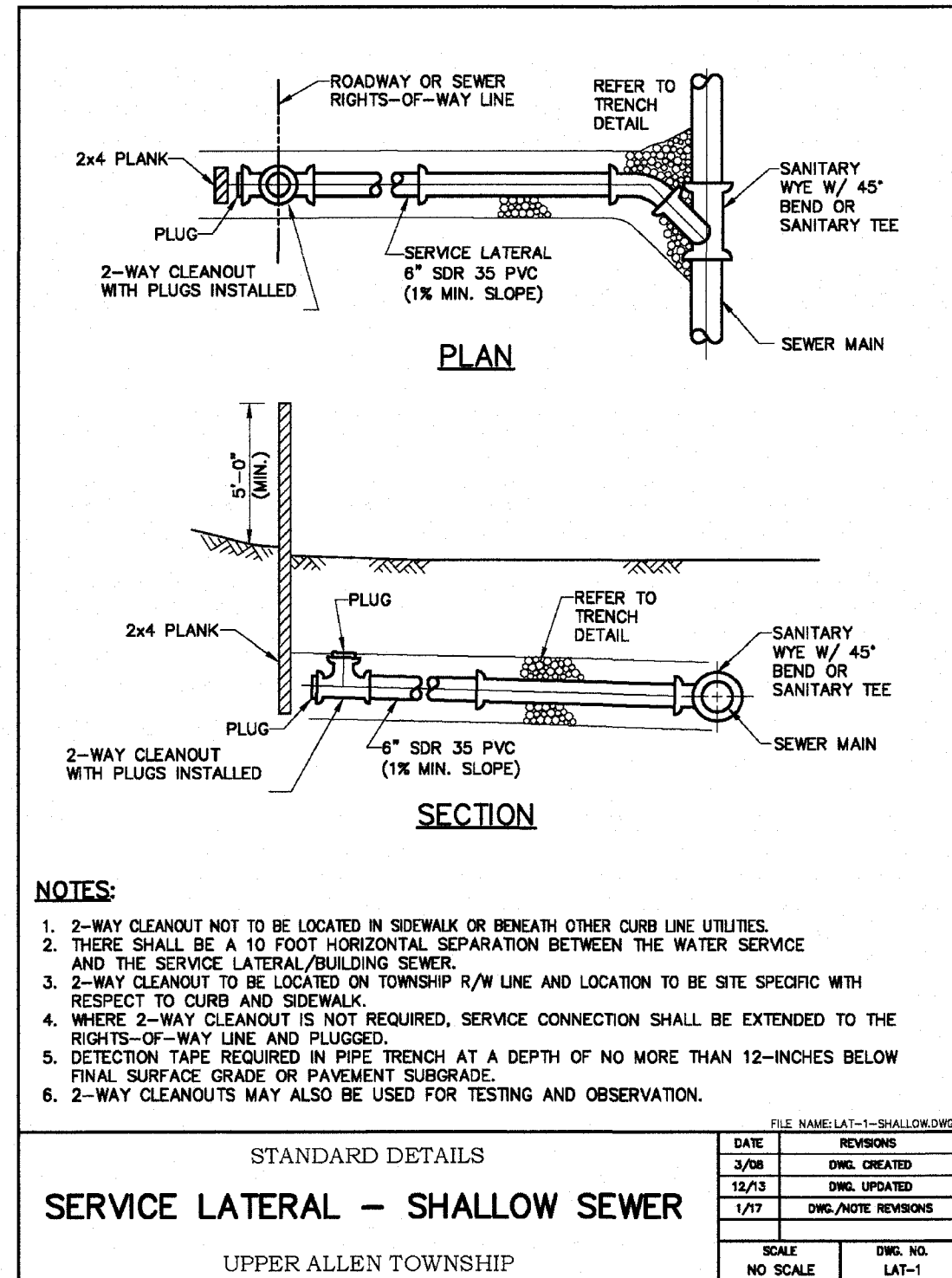
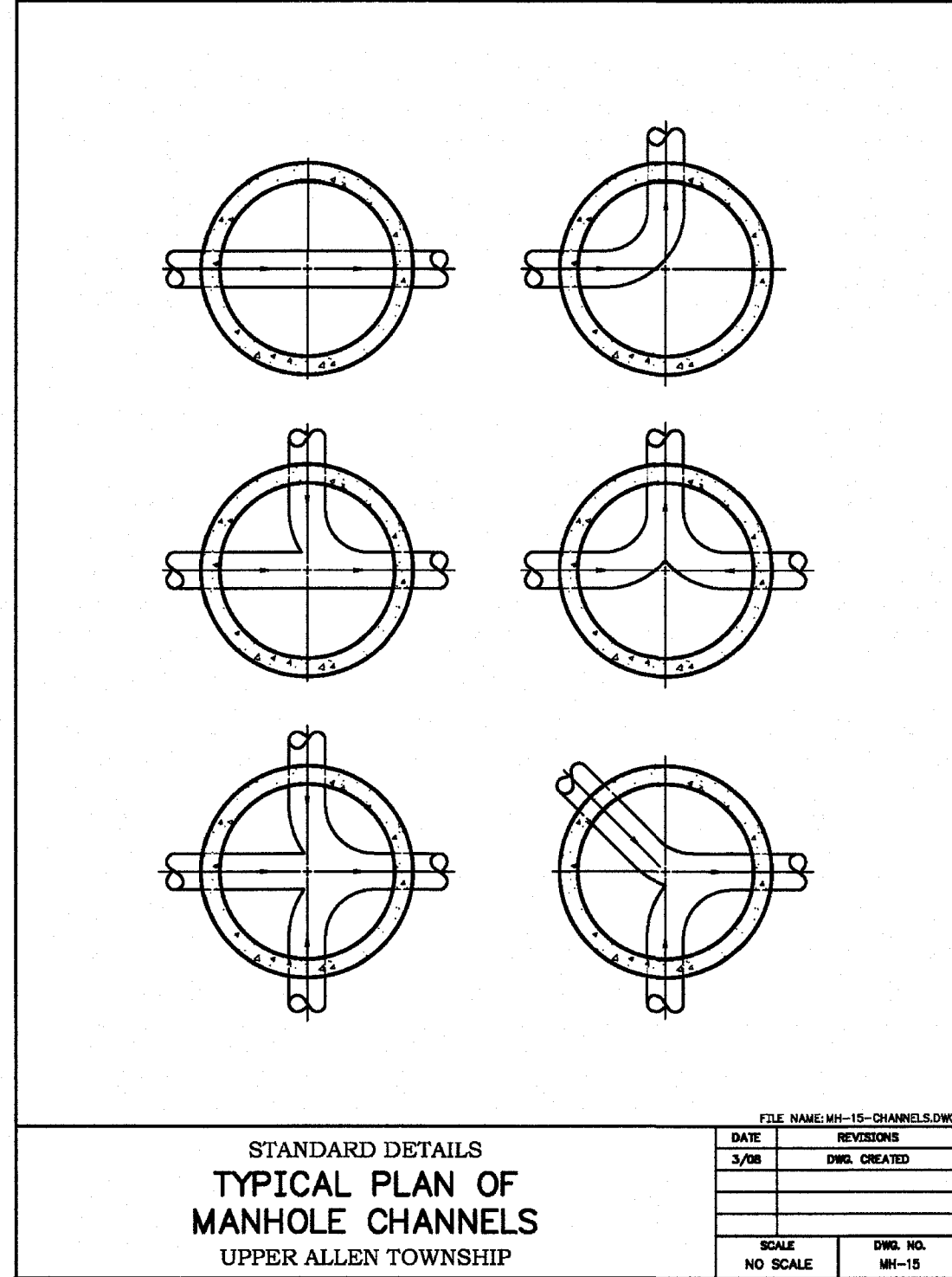
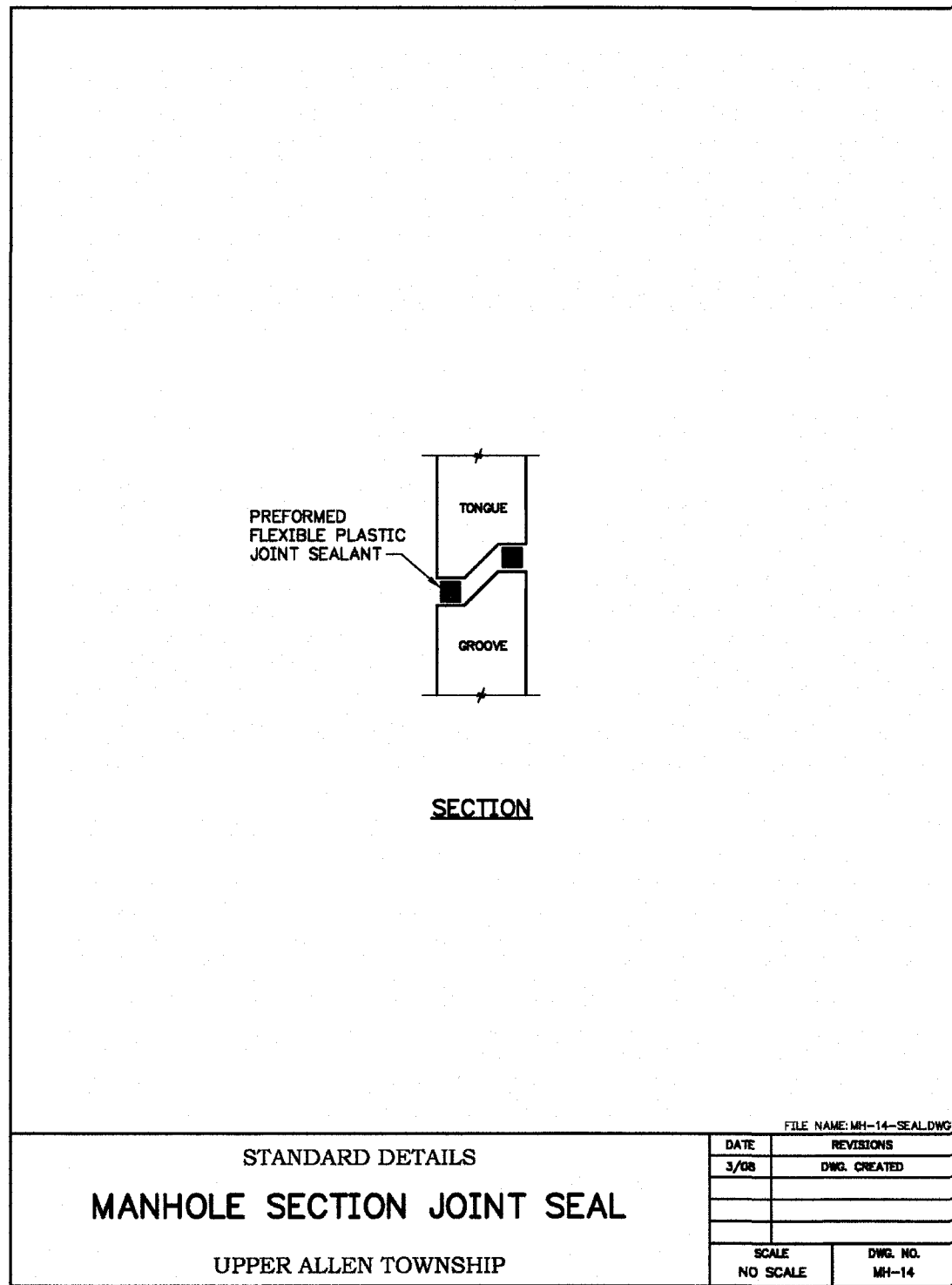
SEAL

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SEAL

SANITARY SEWER / WATER SUPPLY DETAILS
STAGE 5, LOTS 361 - 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
WINDING HILLS
A PLANNED RESIDENTIAL DEVELOPMENT
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 314145
SURVEY BOOK :
SCALE : NTS
DWG FILE :
SHEET 9 of 11



DESIGN : ALPHA
DRAWN : MEA
CHECKED : ALPHA
DATE : 05-01-2018
REV : 07-02-2020

PLANNING ENGINEERING & SURVEYING
115 LIMEKILN RD. P.O. BOX 131
NEW CUMBERLAND, PA 17070
PHONE: 717 770 - 2500
FAX: 717 770 - 2400
WWW.ALPHACON.COM

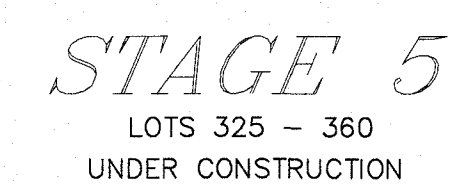
ALPHA
CONSULTING ENGINEERS, INC.

SEAL

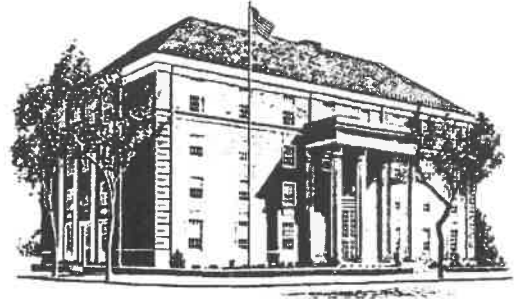
SEAL

SANITARY SEWER DETAILS
STAGE 5, LOTS 361 - 395
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
WINDING HILLS
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UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
314145
SURVEY BOOK :
H:\Survey\Year\Project\Lot
SCALE : NTS
DWG
FILE : 08-DETAILS.dwg
SHEET 10 of 11



**TAMMY SHEARER
RECORDER OF DEEDS
CUMBERLAND COUNTY
1 COURTHOUSE SQUARE
CARLISLE, PA 17013
717-240-6370**



Instrument Number - 202028993

Recorded On 10/14/2020 At 2:21:46 PM

* Total Pages - 13

* Instrument Type - PLAN

Invoice Number - 316580

User ID - SW

* Grantor - STAGE 5 HOLDINGS LLC

*

* Customer - JOHNSON DUFFY

*** FEES**

STATE WRIT TAX	\$0.50
RECORDING FEES -	\$121.50
RECORDER OF DEEDS	
PARCEL CERTIFICATION	\$15.00
FEES	
COUNTY ARCHIVES FEE	\$2.00
ROD ARCHIVES FEE	\$3.00
TOTAL PAID	\$142.00

Certification Page

DO NOT DETACH

**This page is now part
of this legal document.**

Cumberland County UPI Certification

On October 14, 2020 By TB

PARCEL IDENTIFICATION NUMBER

42-10-0256-559

Total Parcels: 1

**I Certify this to be recorded
in Cumberland County PA**



RECORDER OF DEEDS

* - Information denoted by an asterisk may change during
the verification process and may not be reflected on this page.

002DV0

